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3 POST-MINING SITE PLAN
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WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023

REZONING CASE #: RZ2022-0001

COVER SHEET

LOCATED IN SECTION 34, SECTION 35 AND THE NW1/4 OF SECTION 36, TOWNSHIP 3 SOUTH RANGE 72 WEST OF THE 6TH P.M., & PART OF THE N 1/2 OF SECTION 2 AND PART OF THE NE 1/4 SECTION 3, TOWNSHIP 4 SOUTH, RANGE 72 WEST OF THE 6TH P.M., COUNTY OF CLEAR CREEK, STATE OF COLORADO

ODP REPLACEMENT

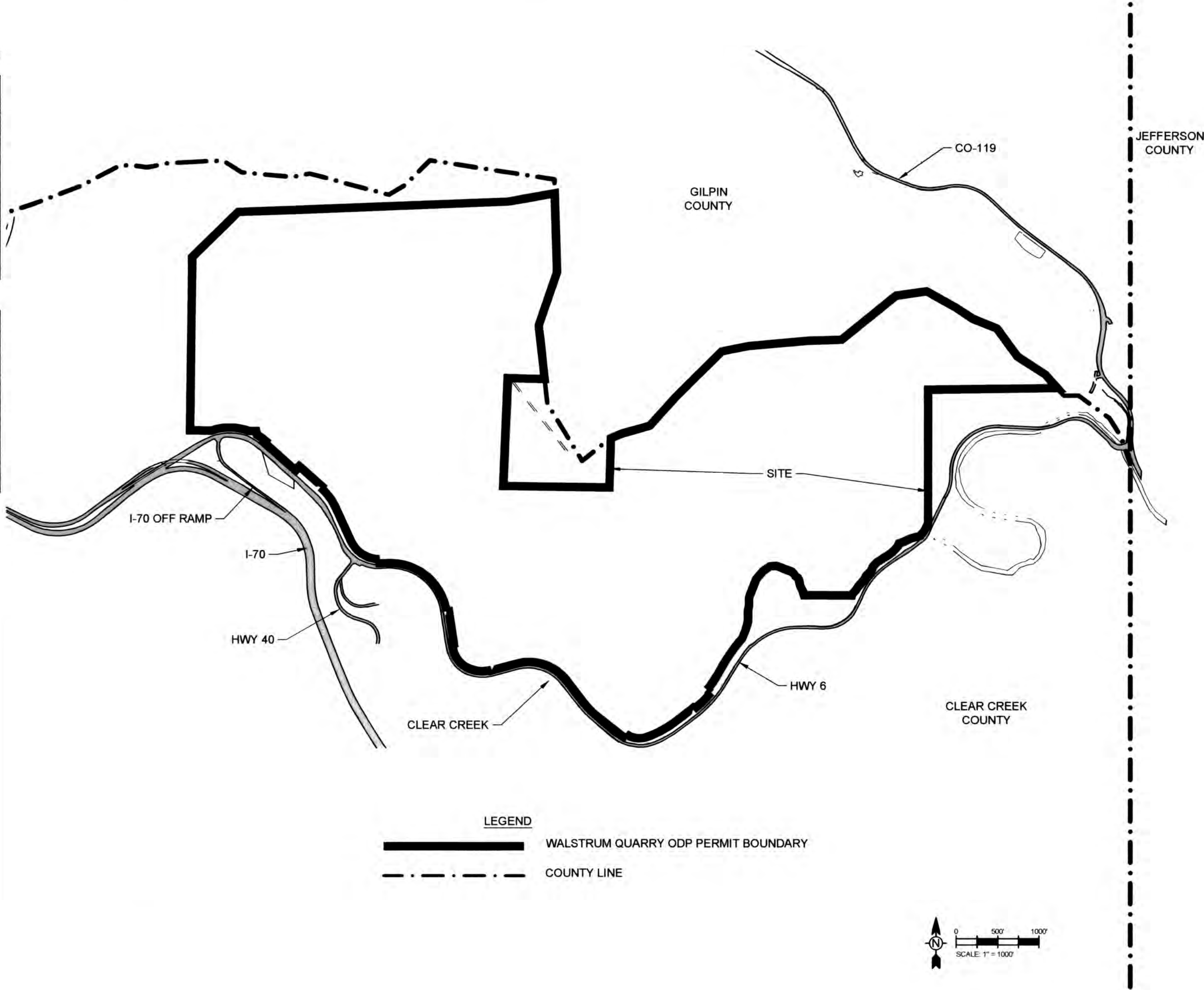
THIS ODP REPLACES IN ITS ENTIRETY: (i) ODP RECORDED IN REZONING CASE #132, RECORDED IN BOOK 424, PAGES 423A-423G; (ii) AMENDMENT REZONING CASE #145, RECORDED IN BOOK 441, PAGES 486-494; (iii) REZONING CASE #265 AND MAJOR PLAN AMENDMENT CASE #01-PDA-02, RECORDED IN BOOK 561, PAGE 233; AND (iv) MINOR PLAN AMENDMENT CASE #PDA 2007-001, RECORDED AT RECEPTION #249601.

VICINITY MAP:

LAND USE SUMMARY

PHASE 1 LAND USE (MINING)	AC.	%
UNDISTURBED/BUFFER	255	34
RESOURCE EXTRACTION, AGGREGATE MANUFACTURING, CONCRETE PLANT, ASPHALT PLANT, CONCRETE CASTING OPERATION, MAINTENANCE FACILITY	494	66
TOTAL SITE	749	100

PHASE 2 LAND USE (POST-MINING)	AC.	%
UNDISTURBED/ BUFFER	255	34
RECLAIMED SLOPES AND BENCHES	255	34
INDUSTRIAL/COMMERCIAL/PUBLIC GATHERING AND DEVELOPED WATER RESOURCES	239	32
TOTAL SITE	749	100



OWNERS CERTIFICATION

OWNERS HEREBY AGREE TO HOLD HARMLESS, INDEMNIFY, AND DEFEND CLEAR CREEK COUNTY IN ANY ACTION WHICH MAY ARISE IN CONNECTION WITH ANY AND ALL ERRORS, OMISSIONS, OR MISTAKES IN THIS LAND SURVEY PLAT AND/OR OTHER INFORMATION WHICH OWNERS HAVE IN CONNECTION WITH THIS REQUEST;

WE HEREBY ACKNOWLEDGE AND STATE UNDER OATH THAT WE ARE THE LEGAL OWNERS OF THE PROPERTY DESCRIBED HEREON, AND WE DO HEREBY DEDICATE AND SET APART ALL OF THE PUBLIC ROADS AND OTHER PUBLIC IMPROVEMENTS AND PLACES AS SHOWN ON THE ACCOMPANYING PLAT TO THE USE OF THE PUBLIC FOREVER, AND DO HEREBY DEDICATE THOSE PORTIONS OF SAID REAL PROPERTY WHICH ARE CREATED AS EASEMENTS ON THE ACCOMPANYING PLAT TO THE PUBLIC FOREVER AS EASEMENTS FOR THE PURPOSES SHOWN HEREIN, UNLESS OTHERWISE EXPRESSLY PROVIDED THEREON; AND DO HEREBY GRANT THE RIGHT TO INSTALL AND MAINTAIN NECESSARY STRUCTURES TO THE ENTITY RESPONSIBLE FOR PROVIDING THE SERVICES FOR WHICH THE EASEMENTS ARE ESTABLISHED;

WE HEREBY AGREE THAT THIS OFFICIAL DEVELOPMENT PLAN CONSTITUTES THE "SITE SPECIFIC DEVELOPMENT PLAN" WHICH ESTABLISHES ALL VESTED PROPERTY RIGHTS PURSUANT TO CRS 24-68-101, ET SEQ.; AND

WE HEREBY AGREE TO ABIDE BY THE CONDITIONS AND STIPULATIONS CONTAINED HEREIN.

OWNER AS TO PARCELS A1, A2, B1, B2, C1, C2, C3, F, G, H1, H2,

I, J. K. AND L.
ALBERT AND MARY JANE IRREVOCABLE TRUST
DATED JUNE 29, 1995

BY: OPES DIRECTED FIDUCIARY SERVICES LLC, TRUSTEE

BY: *D. Scott Robinson*
D. SCOTT ROBINSON, PRESIDENT

THE FOREGOING INSTRUMENT WAS SUBSCRIBED AND SWORN BEFORE ME ON THIS 25 DAY OF April, 2023 BY D. SCOTT ROBINSON AS PRESIDENT OF OPES DIRECTED FIDUCIARY SERVICES LLC, AS TRUSTEE OF ALBERT AND MARY JANE IRREVOCABLE TRUST DATED JUNE 29, 1995

Stephanie Robinson
NOTARY PUBLIC
MY COMMISSION EXPIRES: 10/21/2024

OWNER AS TO PARCELS D AND E:

AR & MJ FREI LIMITED PARTNERSHIP, A COLORADO LIMITED LIABILITY LIMITED PARTNERSHIP

BY: FREI MANAGEMENT LLC, A COLORADO LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER

BY: *Albert R. Frei, Jr.*
ALBERT R. FREI, JR., ITS MANAGER

THE FOREGOING INSTRUMENT WAS SUBSCRIBED AND SWORN BEFORE ME ON THIS 28 DAY OF April, 2023 BY ALBERT R. FREI, JR. AS MANAGER OF FREI MANAGEMENT LLC, A COLORADO LIMITED LIABILITY COMPANY, AS GENERAL PARTNER OF AR & MJ FREI LIMITED PARTNERSHIP, A COLORADO LIMITED LIABILITY LIMITED PARTNERSHIP

Michelle A. Stein
NOTARY PUBLIC
MY COMMISSION EXPIRES: 8/29/2023

MICHELLE A. STEIN
Notary Public
State of Colorado
Notary ID #19994012130
My Commission Expires 08-25-2023

PLANNING COMMISSION RECOMMENDATION

THE CLEAR CREEK COUNTY PLANNING COMMISSION RECOMMENDED APPROVAL OF THIS LAND USE REQUEST TO THE BOARD OF COUNTY COMMISSIONERS ON JANUARY 18, 2023.

APPROVAL

THIS PLAT IS HEREBY APPROVED AND EXEMPTED FROM THE TERMS "SUBDIVISION" AND "SUBDIVIDED LAND" PURSUANT TO C.R.S. SECTION 30-28-101(10)(D). THE FOREGOING PLAT IS HEREBY APPROVED FOR FILING; AND CONVEYANCE OF THE DEDICATIONS AND EASEMENTS FOR THE BENEFIT OF THE PUBLIC SHOWN HEREON, IS ACCEPTED BY CLEAR CREEK COUNTY, STATE OF COLORADO, THIS 2 DAY OF May, 2023; SUBJECT TO THE PROVISION THAT APPROVAL IN NO WAY OBLIGATES CLEAR CREEK COUNTY FOR MAINTENANCE OF ROADS DEDICATED TO THE PUBLIC UNTIL CONSTRUCTION OF IMPROVEMENTS HEREON SHALL HAVE BEEN COMPLETED IN ACCORDANCE WITH CLEAR CREEK COUNTY ROAD DESIGN STANDARDS AND THE BOARD OF COUNTY COMMISSIONERS HAS BY A SUBSEQUENT RESOLUTION AGREED TO UNDERTAKE MAINTENANCE OF THE SAME. THIS APPROVAL DOES NOT GUARANTEE THAT THE SIZE, SOIL CONDITIONS, SUBSURFACE GEOLOGY, GROUNDWATER CONDITIONS, OR FLOODING CONDITIONS OF ANY LOT SHOWN HEREON ARE SUCH THAT A BUILDING PERMIT, SEWAGE DISPOSAL PERMIT, OR ANY OTHER REQUIRED PERMIT WILL BE ISSUED. THIS APPROVAL IS WITH THE UNDERSTANDING THAT ALL EXPENSES INVOLVING REQUIRED IMPROVEMENTS FOR ALL UTILITY SERVICES, PAVING, GRADING, LANDSCAPING, CURBS, GUTTERS, SIDEWALKS, ROAD LIGHTING, ROAD SIGNS, FLOOD PROTECTION DEVICES, DRAINAGE STRUCTURES, AND ALL OTHER IMPROVEMENTS THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER AND NOT CLEAR CREEK COUNTY. APPROVAL OF THIS PLAT CREATES A VESTED PROPERTY RIGHT PURSUANT TO ARTICLE 68 OF TITLE 24 C.R.S., AS AMENDED.

Barbara Wilson
CHAIRMAN, BOARD OF COUNTY COMMISSIONERS

DATE 5/2/2023

ATTEST:

D. Scott Robinson
CLERK AND RECORDER

RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF CLEAR CREEK COUNTY AT 8:40 AM, ON THIS 2nd DAY OF May, 2023 AT BOOK 1043, PAGE 315, RECEPTION NO. 309235.

Sue Ovington
CLERK AND RECORDER

TETRA TECH



APPLICANT:
ALBERT FREI & SONS, INC.
35715 HIGHWAY 40,
BUILDING B, SUITE 120
EVERGREEN, CO 80439

AFS
ALBERT FREI & SONS

FINAL
APRIL 2023

ALBERT FREI & SONS, INC.
WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023
REZONING CASE # RZ2022-0001

PROJ: 117-8700001
DESN: JJA
DRWN: JJA
CHKD: FLC

1

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4/4/2023 4:25:19 PM - C:\PROJECTS\LONGMONT\8700117-8700001\CAD\SHEETFILES\COUNTY\APP20222 MINING MAP AND DETAILS.DWG - HART, GRACE

WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023

REZONING CASE #: RZ2022-0001

MINING SITE PLAN

LOCATED IN SECTION 34, SECTION 35 AND THE NW1/4 OF SECTION 36, TOWNSHIP 3 SOUTH RANGE 72 WEST OF THE 6TH P.M., & PART OF THE N 1/2 OF SECTION 2 AND PART OF THE NE 1/4 SECTION 3, TOWNSHIP 4 SOUTH, RANGE 72 WEST OF THE 6TH P.M., COUNTY OF CLEAR CREEK, STATE OF COLORADO

BUILDING ENVELOPE
SETBACK 20 FT FROM
EXTERNAL PROPERTY LINES

BUILDING ENVELOPE
SETBACK 20 FT FROM
EXTERNAL PROPERTY LINES

ACCESS ROAD

BUILDING ENVELOPE
SETBACK 20 FT FROM
EXTERNAL PROPERTY LINES

CELL PHONE
TOWERS

APPROX MINE FLOOR
ELEV. 7800 FT

MINING OVERALL SLOPE
1H:1V ABOVE ELEVATION 8000 FT
0.6H:1V BELOW ELEVATION 8000 FT

HAUL ROAD TO BE
LOCATED BASED ON
OPERATIONAL
REQUIREMENTS

MINING OVERALL SLOPE
0.6H:1V

SPECIAL FLOOD HAZARD AREA,
SUBJECT TO INUNDATION BY THE
1% ANNUAL CHANCE FLOOD

EX WELL

PROPOSED SCALE
OPERATIONS
FACILITY

EX WELL

CDOT ACCESS
PERMIT 103033
MAIN ENTRANCE

TEXACO
PLACER

HIGHWAY 40

CDOT ACCESS
PERMIT 103034
SECONDARY
ENTRANCE
RIGHT IN ONLY

CLEAR CREEK

HWY 6 (ROW WIDTH VARIES)

CLEAR CREEK

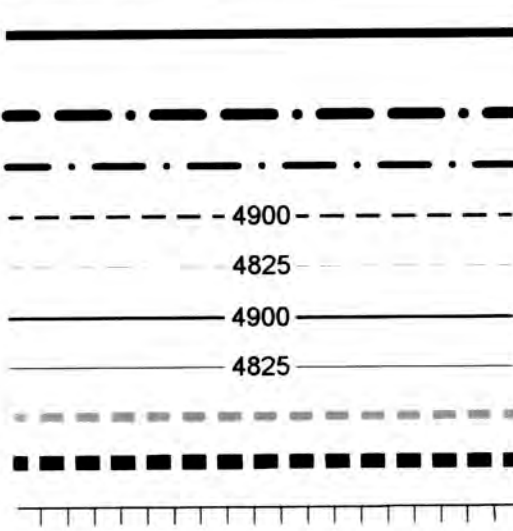
HWY 6 TUNNEL 6

HWY 6 TUNNEL 5

NOTES:

- EXISTING UTILITY AND ACCESS EASEMENTS MAY BE RELOCATED AS A RESULT OF ONGOING QUARRY OPERATIONS. FINAL LOCATIONS TO BE DETERMINED IN THE FUTURE. HOWEVER, UTILITIES AND ACCESS TO UTILITIES, STRUCTURES AND PROPERTY AS GRANTED IN EACH RESPECTIVE EASEMENT WILL BE MAINTAINED AT ALL TIMES. SOME UTILITY AND ACCESS EASEMENTS ARE SHARED AMONG MULTIPLE ENTITIES AND MAY OVERLAP EACH OTHER.
- THE 1% ANNUAL CHANCE FLOOD (100-YR. FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD. AREAS OF SPECIAL FLOOD HAZARD INCLUDE ZONES A, AE, AH, AO, AR, A99, V AND VE. THE BASE FLOOD ELEVATION IS THE WATER-SURFACE ELEVATION OF THE 1% ANNUAL CHANCE FLOOD. (FLOOD HAZARD INFORMATION IS FROM FLOOD INSURANCE RATE MAP (FIRM), CLEAR CREEK COUNTY, COLORADO AND INCORPORATED AREAS. PANEL 235 OF 350, MAP NUMBER 08019C0235E, MAP REVISED JULY 17, 2012; NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).)

LEGEND:



WALSTRUM QUARRY ODP PERMIT
BOUNDARY
LIMIT OF MINING EXCAVATION
COUNTY LINE
EXISTING MAJOR 100' CONTOURS
EXISTING MINOR 25' CONTOURS
PROPOSED MAJOR 100' CONTOURS
PROPOSED MINOR 25' CONTOURS
EXISTING PRIVATE ROADWAY
HAUL ROAD
SPECIAL FLOOD HAZARD AREA



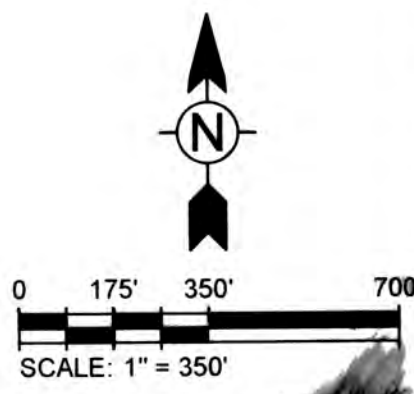
EXISTING ASPHALT ROAD
EXISTING CREEK
WATER WELL LOCATION
UTILITY POLE
LIGHT POLE
MINING, MANUFACTURING,
ACCESSORY USES
(BUILDING ENVELOPE)
UNDISTURBED/BUFFER

SURVEY/TOPOGRAPHIC
INFORMATION:

BASEMAP, SURVEY, TOPOGRAPHY,
AND BOUNDARY INFORMATION:
GILLIAN'S LAND CONSULTANTS
PO BOX 746056
ARVADA, CO 80006-6356
(303) 972-6640

FEATURES OUTSIDE PROPERTY
BOUNDARY WERE PROVIDED BY
USGS MAP

389235 05/02/2023 00:40 AM B: 1043 P: 315 ODP
Page 2 of 11 R 3113.00 D 20.00 T 3113.00 Clear Creek
389235 05/02/2023 00:40 AM B: 1043 P: 315 ODP
Page 2 of 11 R 3113.00 D 20.00 T 3113.00 Clear Creek



TETRA TECH

APPLICANT:

ALBERT FREI & SONS, INC.
35715 HIGHWAY 40,
BUILDING B, SUITE 120
EVERGREEN, CO 80439

AFS

ALBERT FREI & SONS

ALBERT FREI & SONS, INC.
WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023
REZONING CASE # RZ2022-0001

MINING SITE PLAN

PROJ: 117-8700001
DESIGN: JJA
DRAWN: JJA
CHECKED: FLC

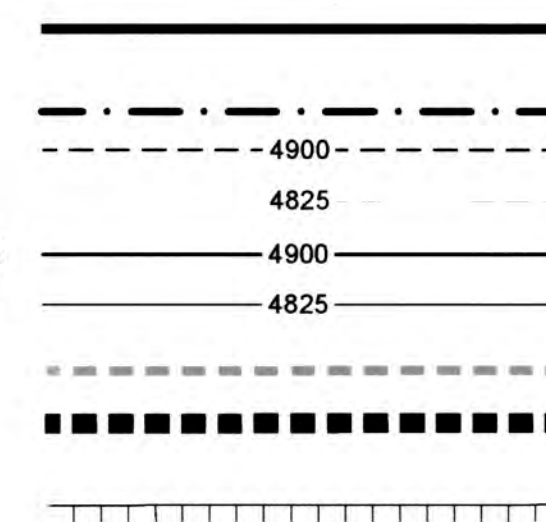
WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023

REZONING CASE #: RZ2022-0001

POST-MINING SITE PLAN

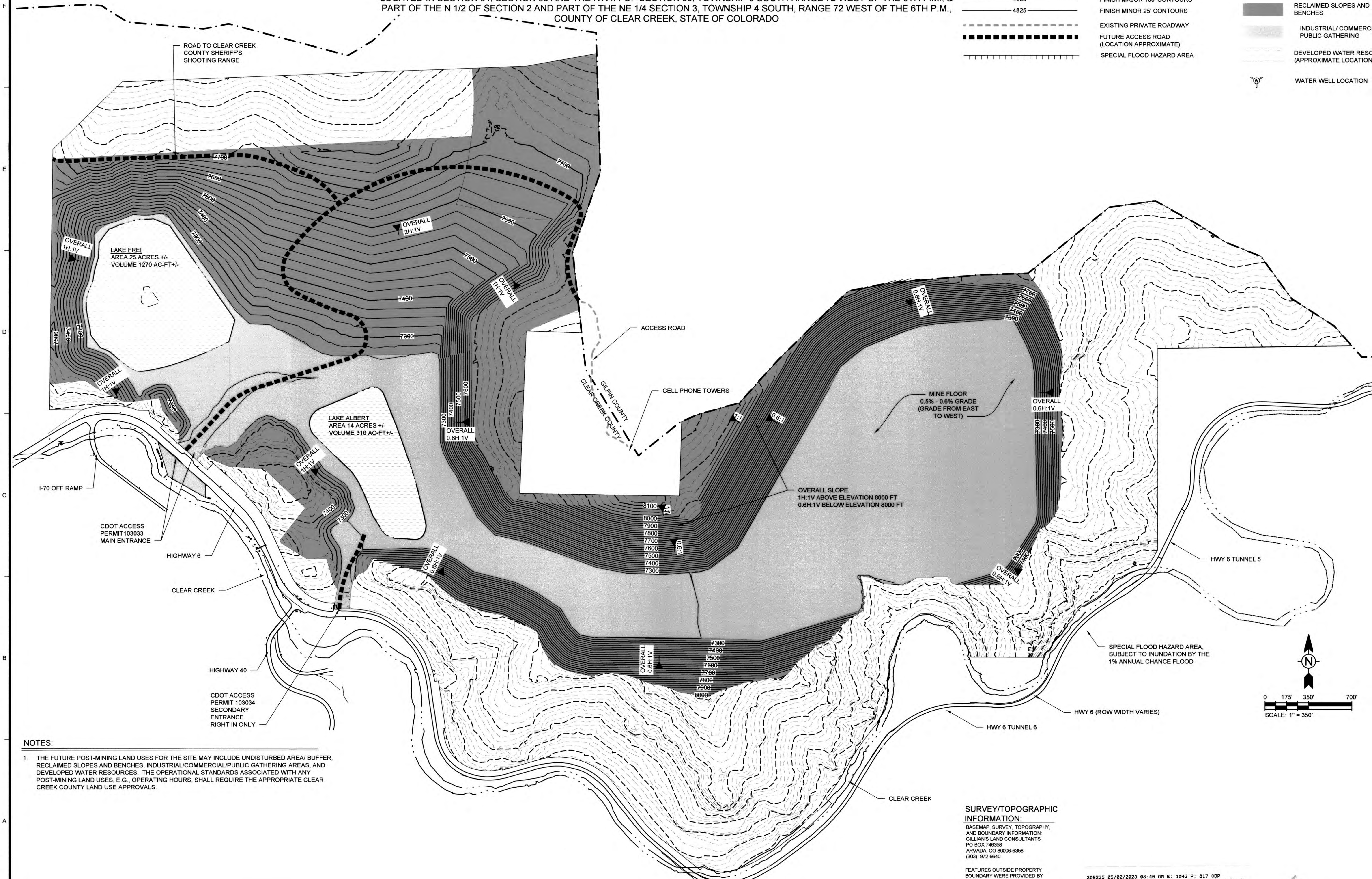
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LEGEND:



WALSTRUM QUARRY ODP PERMIT
BOUNDARY
COUNTY LINE
EXISTING MAJOR 100' CONTOURS
EXISTING MINOR 25' CONTOURS
FINISH MAJOR 100' CONTOURS
FINISH MINOR 25' CONTOURS
EXISTING PRIVATE ROADWAY
FUTURE ACCESS ROAD
(LOCATION APPROXIMATE)
SPECIAL FLOOD HAZARD AREA

EXISTING ASPHALT ROAD
EXISTING CREEK
UNDISTURBED/BUFFER
RECLAIMED SLOPES AND BENCHES
INDUSTRIAL/ COMMERCIAL/
PUBLIC GATHERING
DEVELOPED WATER RESOURCES
(APPROXIMATE LOCATIONS)
WATER WELL LOCATION



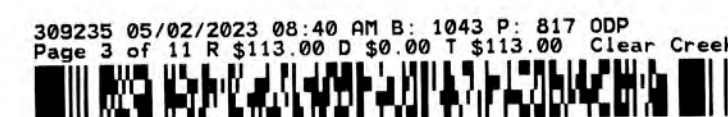
NOTES:

1. THE FUTURE POST-MINING LAND USES FOR THE SITE MAY INCLUDE UNDISTURBED AREA/ BUFFER, RECLAIMED SLOPES AND BENCHES, INDUSTRIAL/COMMERCIAL/PUBLIC GATHERING AREAS, AND DEVELOPED WATER RESOURCES. THE OPERATIONAL STANDARDS ASSOCIATED WITH ANY POST-MINING LAND USES, E.G., OPERATING HOURS, SHALL REQUIRE THE APPROPRIATE CLEAR CREEK COUNTY LAND USE APPROVALS.

SURVEY/TOPOGRAPHIC INFORMATION:

BASEMAP, SURVEY, TOPOGRAPHY,
AND BOUNDARY INFORMATION:
GILLIAN'S LAND CONSULTANTS
PO BOX 746358
ARVADA, CO 80006-6358
(303) 972-6640

FEATURES OUTSIDE PROPERTY
BOUNDARY WERE PROVIDED BY
USGS MAP



TETRA TECH

APPLICANT:

ALBERT FREI & SONS, INC.
35715 HIGHWAY 40
BUILDING B, SUITE 120
EVERGREEN, CO 80439

AFS

ALBERT FREI & SONS

FINAL
APRIL 2023

ALBERT FREI & SONS, INC.
WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023
REZONING CASE # RZ2022-0001

POST-MINING SITE PLAN

PROJ: 117-8700001
DESN: JJA
DRWN: JJA
CHKD: FLC

3

Copyright: Tetra Tech

Scale: Measures 1 inch, otherwise drawing not to scale

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F
E
D
C
B
A

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WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023

REZONING CASE #: RZ2022-0001

ACCESS SITE PLAN

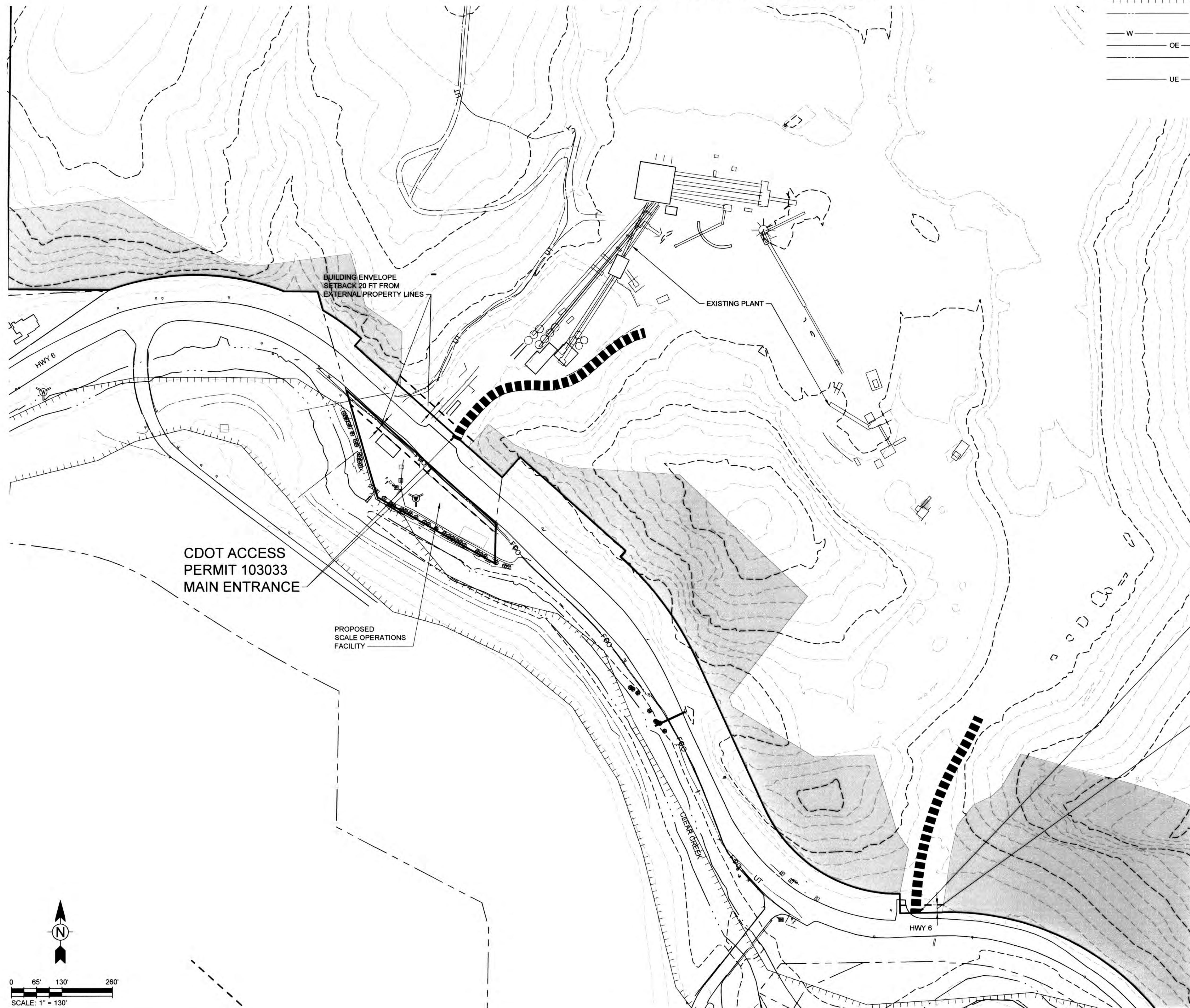
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LEGEND:

	WALSTRUM QUARRY ODP PERMIT BOUNDARY
	EXISTING MAJOR 100' CONTOURS
	EXISTING MINOR 25' CONTOURS
	PROPOSED MAJOR 100' CONTOURS
	PROPOSED MINOR 25' CONTOURS
	HAUL ROAD
	SPECIAL FLOOD HAZARD AREA
	EXISTING UNDERGROUND COMMUNICATION
	EXISTING WATERLINE
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND FIBER OPTIC
	EXISTING UNDERGROUND ELECTRIC

EXISTING ASPHALT ROAD
EXISTING CREEK
MINING, MANUFACTURING, ACCESSORY USES (BUILDING ENVELOPE)
UNDISTURBED/ BUFFER
WATER WELL LOCATION
UTILITY POLE
LIGHT POLE
ELECTRIC BOX
MISCELLANEOUS ELECTRICAL EQUIPMENT

	EXISTING ASPHALT ROAD
	EXISTING CREEK
	MINING, MANUFACTURING, ACCESSORY USES (BUILDING ENVELOPE)
	UNDISTURBED/ BUFFER
	WATER WELL LOCATION
	UTILITY POLE
	LIGHT POLE
	ELECTRIC BOX
	MISCELLANEOUS ELECTRICAL EQUIPMENT



APPLICANT:
ALBERT FREI & SONS, INC.
35715 HIGHWAY 40,
BUILDING B, SUITE 120
EVERGREEN, CO 80439



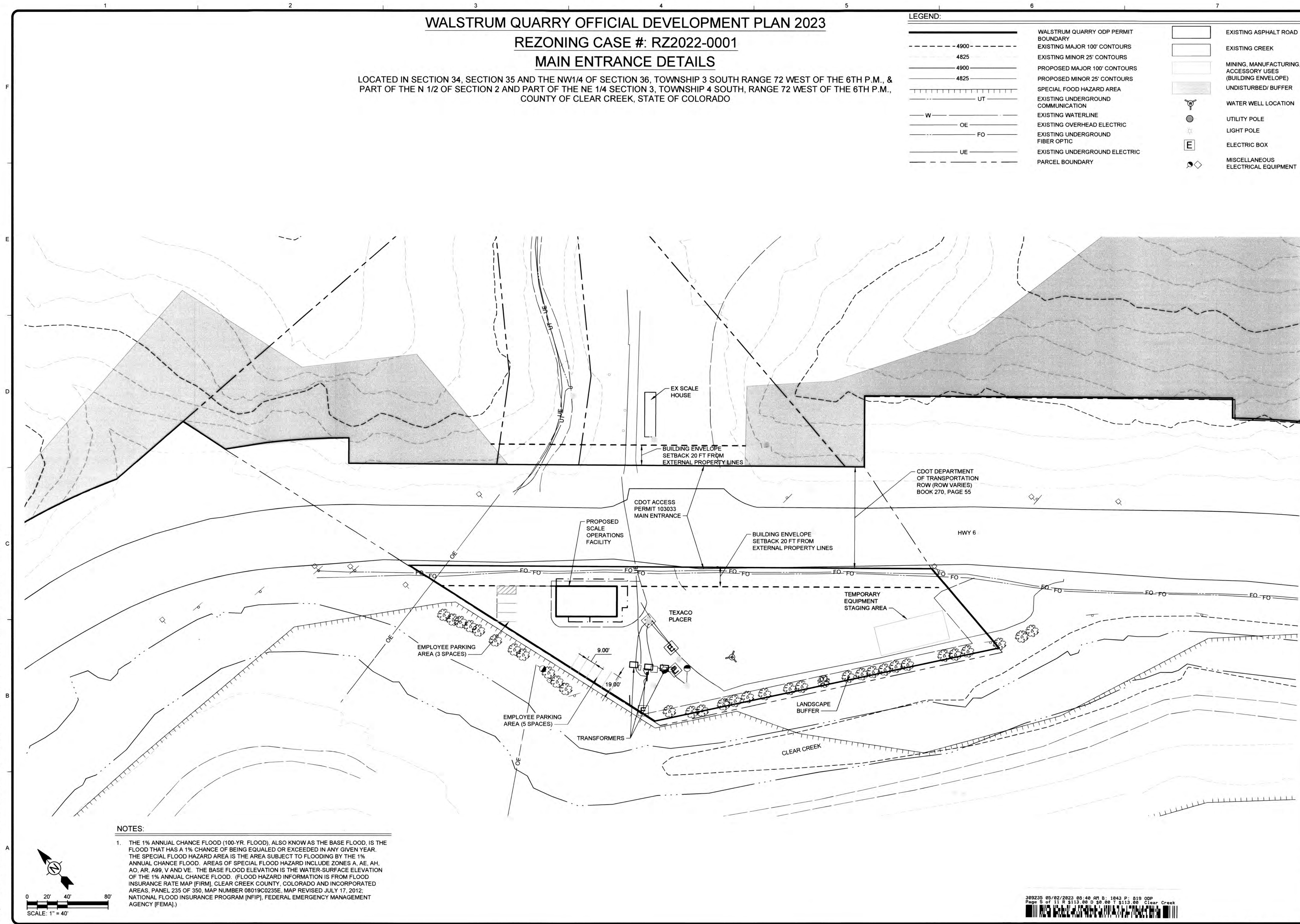
ALBERT FREI & SONS

FINAL
APRIL 2023

ALBERT FREI & SONS, INC.
WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023
REZONING CASE # RZ2022-0001
ACCESS SITE PLAN

PROJ:	117-8700001
DESN:	JJA
DRWN:	JJA
CHKD:	FLC

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NOTES:

1. THE 1% ANNUAL CHANCE FLOOD (100-YR. FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD. AREAS OF SPECIAL FLOOD HAZARD INCLUDE ZONES A, AE, AH, AO, AR, A99, V AND VE. THE BASE FLOOD ELEVATION IS THE WATER-SURFACE ELEVATION OF THE 1% ANNUAL CHANCE FLOOD. (FLOOD HAZARD INFORMATION IS FROM FLOOD INSURANCE RATE MAP (FIRM), CLEAR CREEK COUNTY, COLORADO AND INCORPORATED AREAS, PANEL 235 OF 350, MAP NUMBER 08019C0235E, MAP REVISED JULY 17, 2012, NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).)

WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023

REZONING CASE #: RZ2022-0001

MAIN ENTRANCE DETAILS

LOCATED IN SECTION 34, SECTION 35 AND THE NW1/4 OF SECTION 36, TOWNSHIP 3 SOUTH RANGE 72 WEST OF THE 6TH P.M., & PART OF THE N 1/2 OF SECTION 2 AND PART OF THE NE 1/4 SECTION 3, TOWNSHIP 4 SOUTH, RANGE 72 WEST OF THE 6TH P.M., COUNTY OF CLEAR CREEK, STATE OF COLORADO

LEGEND:

---	4900	---	WALSTRUM QUARRY ODP PERMIT BOUNDARY		EXISTING ASPHALT ROAD
---	4825	---	EXISTING MAJOR 100' CONTOURS		EXISTING CREEK
---	4900	---	EXISTING MINOR 25' CONTOURS		MINING, MANUFACTURING, ACCESSORY USES (BUILDING ENVELOPE)
---	4825	---	PROPOSED MAJOR 100' CONTOURS		UNDISTURBED/ BUFFER
---	4825	---	PROPOSED MINOR 25' CONTOURS		WATER WELL LOCATION
---	UT	---	SPECIAL FOOD HAZARD AREA		UTILITY POLE
---	W	---	EXISTING UNDERGROUND COMMUNICATION		LIGHT POLE
---	OE	---	EXISTING WATERLINE		ELECTRIC BOX
---	FO	---	EXISTING OVERHEAD ELECTRIC		MISCELLANEOUS ELECTRICAL EQUIPMENT
---	UE	---	EXISTING UNDERGROUND ELECTRIC		
---	---	---	FIBER OPTIC		
---	---	---	EXISTING UNDERGROUND ELECTRIC		
---	---	---	PARCEL BOUNDARY		

APPLICANT:
ALBERT FREI & SONS, INC.
35715 HIGHWAY 40,
BUILDING B, SUITE 120
EVERGREEN, CO 80439
Tel: 303-772-9282

AFS
ALBERT FREI & SONS

FINAL
APRIL 2023

ALBERT FREI & SONS, INC.
WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023
REZONING CASE # RZ2022-0001
MAIN ENTRANCE DETAILS

PROJ: 117-8700001
DES: JJA
DRWN: JJA
CHKD: FLC

5

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309235 05/02/2023 00:40 AM B: 1043 P: 810 ODP
Page 5 of 11 R \$113.00 D \$0.00 T \$113.00 Clear Creek

4/4/2023 4:30:12 PM - O:\PROJECTS\LONGMONT\8700117-870001\CAD\SHEETFILES\COUNTYAPP20227 ARCHITECTURAL PLANS & CHARACTER IMAGES DWG - HART, GRACE

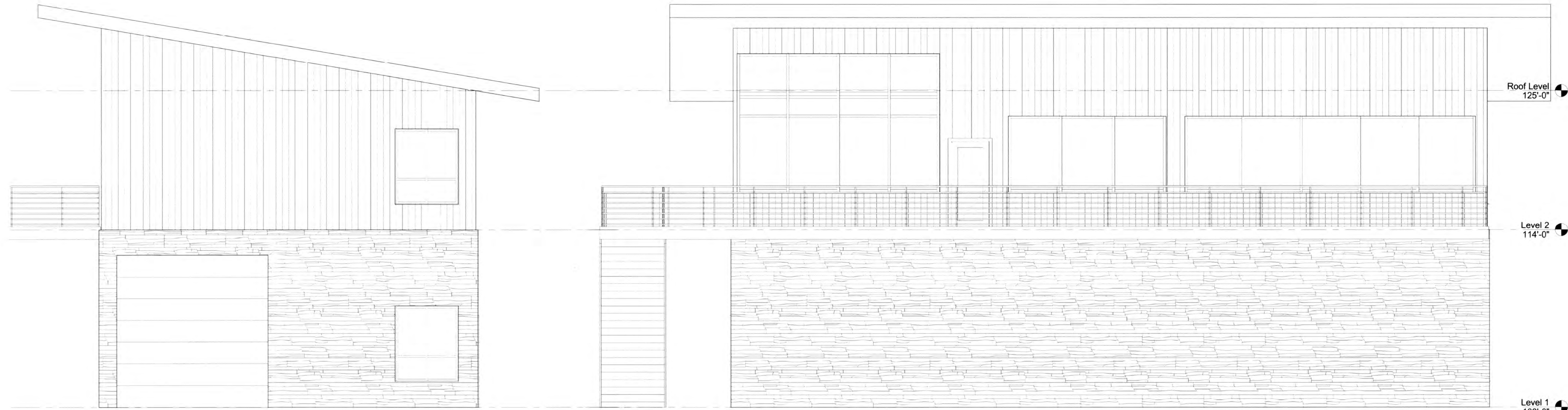
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WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023

REZONING CASE #: RZ2022-0001

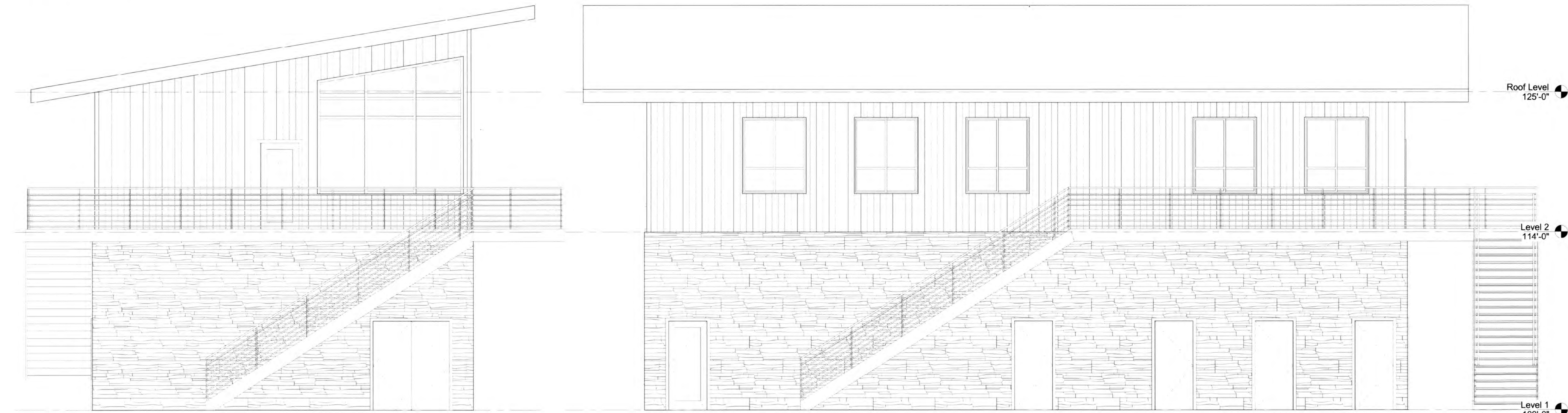
CONCEPTUAL ARCHITECTURAL PLAN

LOCATED IN SECTION 34, SECTION 35 AND THE NW1/4 OF SECTION 36, TOWNSHIP 3 SOUTH RANGE 72 WEST OF THE 6TH P.M., &
PART OF THE N 1/2 OF SECTION 2 AND PART OF THE NE 1/4 SECTION 3, TOWNSHIP 4 SOUTH, RANGE 72 WEST OF THE 6TH P.M.,
COUNTY OF CLEAR CREEK, STATE OF COLORADO



4 EAST ELEVATION
1/4" = 1'-0"

2 NORTH ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"

1 WEST ELEVATION
1/4" = 1'-0"

ARCHITECT:

EVstudio
5335 W. 48TH AVE., SUITE 300
DENVER, CO 80212

APPLICANT:

ALBERT FREI & SONS, INC.
35715 HIGHWAY 40,
BUILDING B, SUITE 120
EVERGREEN, CO 80439

AFS
ALBERT FREI & SONS

FINAL
APRIL 2023

ALBERT FREI & SONS, INC.

WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023
REZONING CASE # RZ2022-0001

CONCEPTUAL ARCHITECTURAL PLAN

PROJ:	117-8700001
DESN:	JJA
DRWN:	JJA
CHKD:	FLC

4/19/2023 4:44:42 PM - O:\PROJECTS\LONGMONT\8700117-8700001\CAD\SHEETFILES\COUNTY\APP20227 ARCHITECTURAL PLANS & CHARACTER IMAGES.DWG - WEATHERL LAURA

WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023

REZONING CASE #: RZ2022-0001
PERMITTED USES, STIPULATIONS & CONDITIONS

LOCATED IN SECTION 34, SECTION 35 AND THE NW1/4 OF SECTION 36, TOWNSHIP 3 SOUTH RANGE 72 WEST OF THE 6TH P.M., & PART OF THE N 1/2 OF SECTION 2 AND PART OF THE NE 1/4 SECTION 3, TOWNSHIP 4 SOUTH, RANGE 72 WEST OF THE 6TH P.M., COUNTY OF CLEAR CREEK, STATE OF COLORADO

Unless otherwise provided in the Clear Creek County Zoning Regulations, no building or land shall be used and no building shall be hereafter erected, converted, or structurally altered except as specifically depicted on this Official Development Plan (ODP).

There will be two phases of uses: (1) Phase 1 mining uses; and (2) Phase 2 post-mining uses.

PHASE 1 - MINING PERMITTED USES, STIPULATIONS AND CONDITIONS

- USES NORTH OF HIGHWAY 6
 - Mining uses include resource extraction, aggregate manufacturing, and accessory uses such as a concrete plant, asphalt plant, concrete casting operation, and maintenance facility.
 - The mining process consists of blasting, hauling resource to the on-site manufacturing plant to be made into construction materials including fine and coarse aggregates. The aggregate products are then loaded into customer trucks by front end loader or directly into trucks via silos. Mining equipment may include, but is not limited to, drilling equipment, front end loaders, excavators, bulldozers, rock breakers, lifting cranes, water trucks, and haul trucks. Processing equipment may include, but is not limited to, grizzlies, crushers, screens, conveyors, wash plants, plant enclosures, and stackers.
- USES SOUTH OF HIGHWAY 6 (TEXACO PLACER)
 - Employee parking compliant with Section 1006 (Off-Street Parking Requirements) of the Clear Creek County Zoning Regulations.
 - A scale operations facility located in the building envelope as shown on the site plan.
 - Temporary parking for semi-trucks leaving the Quarry to secure their loads prior to entry onto Highway 6.
 - Mining equipment staging area for equipment being moved into and out of the Quarry, provided that equipment shall not be unmoved for more than six months.
- BUILDING ENVELOPES
 - This ODP creates two building envelopes during Phase 1 Mining Uses; one consisting of the mining areas of the Quarry and one located on the area south of Highway 6 (Texaco Placer) that will accommodate a future, permanent scale operations facility. See Sheets 2, 4, 5 and 6 for details. All structures and uses allowed on the subject property shall be restricted to the described "building envelopes" as described on the ODP. The only development allowed outside of the said mining permit area shall be for driveways, retaining walls, onsite wastewater systems, parking lots and utilities.
 - While the building envelopes are shown clearly on this ODP, at no times are the building envelopes closer than 20 ft from any external property line. Additionally, for clarity, there are 0' ft setbacks for internal property lines within the building envelopes.
- ANNUAL REPORT

An annual report shall be submitted to the Clear Creek County Planning Department on or before July 31st that will include or address the following:

 - A copy of the annual report that is required to be submitted to the Division of Reclamation, Mining and Safety;
 - A copy of the Road Sweeping daily log;
 - How the Quarry is or is not in compliance with each condition of this ODP;
 - A summary of the complaints reported to the operator that occurred over the previous year along with an explanation of how the operator responded to the complaints;
 - A list of any notices of violations issued by a regulatory agency of the County or State and the operator's responses to such notices; and
 - Confirmation of Community Contribution payment.

The Clear Creek County Planning Department shall review the Annual Report and conduct a site visit, if necessary, to make sure that the Quarry is in compliance with the conditions of this ODP. The Planning Department shall, if necessary, also contact the appropriate State agencies for verification of statements provided in the Annual Report.

- HOURS OF OPERATION

All activities associated with the Quarry are permitted to operate up to 24 hours per day and 7 days a week. The mining activities, manufacturing plant, and loadout operations typically occur during daylight hours, with maintenance activities typically occurring during nighttime hours.
- DENSITY AND AREA MAXIMUMS

The total square footage for all existing and proposed structures or buildings shall not exceed five percent (5%) of the total square footage of the 2023 Walstrum Quarry ODP area.

- HEIGHT

There shall be no height limitation for all structures for Phase 1 uses.
- DEVELOPMENT STANDARDS

All Development shall be in conformance with Section 10 - Development Standards of the Clear Creek County Zoning Regulations, unless otherwise stated with these stipulations and conditions.
- FENCES

Fencing and walls shall comply with the requirements for Fencing, Walls, and Landscaping Standards as outlined in the Development Standards of the Clear Creek County Zoning Regulations. However, any fence specifically required for safety or security purposes to prevent access to mine shafts, adits, or equipment may exceed forty-two (42) inches in height. The area contained by any such fence shall be no greater than necessary to provide for such safety and security.
- PARKING

Parking associated with on-site uses shall not overflow into public rights-of-way.
- JUNK

No owner, agent, or occupant of any property shall be allowed to accumulate junk, including any incomplete, extensively damaged, or unlicensed vehicles within view from adjacent private property or public rights-of-way, other than that which is of historic significance, or operable and usable in the mining operation.
- VISUAL OBSTRUCTIONS

No wall, fence, sign, or other structure shall be erected, or vehicle parked, and no hedge, shrub, tree, or other growth shall be permitted on any property between any setback line and any public or private road or drive that would cause danger to traffic as determined by the County.
- MAINTENANCE OF DEFENSIBLE SPACE

Any required defensible space shall be maintained in conformity with specifications established for the property by the Colorado State Forest Service or their designated agent.
- NOISE

Noise associated with the mining use will be in compliance with Colorado Revised Statutes 25-12-103.
- LIGHTING

Lighting shall comply with Mine Safety and Health Administration Part 56 federal regulations and the applicable lighting regulations in Section 1009 - Development Standards, of the *Clear Creek County Zoning Regulations*. Light poles up to 100 feet in height are allowed within building envelope areas that are at base elevations below 7,500 feet.
- SEWAGE DISPOSAL TREATMENT

Shall Comply with the Clear Creek County Onsite Wastewater Treatment System Regulations.
- SIGNAGE

All signage shall comply with the applicable Clear Creek County Development Standards pertaining to signage.
- SITE ACCESS
 - Existing access and trip counts

The main access to the site is permitted under Colorado Department of Transportation (CDOT) access permit 103033 which allows ingress to and egress from the site. The permit allows for 2,600 average vehicle trips per day (a vehicle that enters and then exits the site has completed 2 vehicle trips) at this location. The secondary access is permitted under CDOT access permit 103034. It is located east of where Highway 40 meets Highway 6 and allows up to 1,000 right-turn only, ingress-only average trips per day. Vehicle trips per day shall be limited to the above numbers.
 - New access

All new or reconstructed mine access ways must be built to County standard as depicted in the County Roadway Design and Construction Manual as amended for the first thirty (30) feet from the intersection with an external roadway (State Highway or County Road).
 - Access by Colorado Parks & Wildlife

Access to the subject property is hereby granted to the Colorado Parks & Wildlife for purposes of monitoring and evaluating progress relative to revegetation and restoration of wildlife habitat, subject to their checking in with the mine superintendent or owner and being properly trained and equipped to meet all applicable Mine Safety and Health Administration safety standards prior to entering the Quarry. The owners shall cooperate with the Colorado Parks & Wildlife to help mitigate wildlife concerns regarding road-kill issues.

- EXISTING EASEMENTS AND RELATED FACILITIES

If any existing utility and access facilities or easements must be relocated within the Walstrum Quarry Planned Development Zoning District, applicable legal relocation processes shall be followed.
- ABOVEGROUND STORAGE OF HAZARDOUS MATERIALS AND PETROLEUM

Above-ground storage tanks containing flammable or combustible materials shall, if painted to blend with the surrounding natural environment, be labeled conspicuously with a National Fire Protection Association (NFPA) reflective emblem. All hazardous materials and petroleum products must be handled and stored in accordance with all applicable laws and regulations.
- STORMWATER

Stormwater is managed according to the guidance contained in the U.S. Environmental Protection Agency (USEPA) and AFS's Certified Stormwater Management Plan (SWMP). The Stormwater Management Plan was developed to minimize the potential for discharge of pollutants from the Walstrum Quarry in accordance with pollution prevention plans and Best Management Practices. Adjacent properties shall not be affected in any way. All runoff from the area above the site will be directed into existing drainages and will not be collected in the reservoirs to ensure compliance with State law.
- DUST MANAGEMENT
 - The operator shall control dust by using water trucks on unpaved roads, a sweeper on paved roads, and more than 50 spray bars on processing equipment. The Colorado Department of Public Health and Environment (CDPHE) has issued air permit 20CC0702 for the mining operation.
 - ROAD SWEEPING PLAN

The Road Sweeping Plan submitted as part of this Walstrum Quarry Planned Development Zoning District application indicates how track out maintenance will be performed on Highway 6. This plan shall be implemented to keep the portion of Highway 6 that is adjacent to the Quarry access points clean. If at any time, the Planning Department determines that the Road Sweeping Plan is not substantially accomplishing its intended purpose, the Road Sweeping Plan shall be amended. The Road Sweeping Plan is recorded at reception # 309234.
- SOILS INFORMATION

Topsoil is relatively absent from this site. Therefore, all surface soils or growth medium shall be blended with overburden and pushed to the side of the working benches until needed for concurrent reclamation. When a noticeable change in the physical properties of the growth medium is observed, it will be tested before placement to determine the appropriate amendments for that specific portion of reclaimed slope.
- BLASTING

Blasting will only occur between the hours of 9:00 a.m. and 4:00 p.m. All blasting shall be conducted in conformance with the Quarry's Blasting Vibration Control Plan as required, administered, and enforced by the Colorado Division of Reclamation, Mining and Safety.
- POWDER MAGAZINES

Two (2) powder magazines that comply with Mine Safety and Health Administration and Department of Homeland Security standards are allowed on site. If magazines will be used, the operator will notify local law enforcement prior to their use.
- BERM RETENTION

The front berms on the north side of Highway 6 as shown on the Mining Site Plan shall remain as it exists today in perpetuity in order to help screen views of the Quarry from significant points outside the Quarry.
- GEOLOGIC MITIGATION

Staggered earthen berms shall be constructed on the downhill side of the haul roads located below locations that contain geologic hazards; as identified within the 2021 Walstrum Spur Amendment Geotechnical Stability Exhibit or as amended by the Colorado Mined Land Reclamation Board.
- VOLUNTARY COMMUNITY CONTRIBUTION

AFS has voluntarily agreed to pay to Clear Creek County 5 cents per ton of material sold over the scale with a 1 cent per ton increase every five years, as further described in the agreement document recorded at reception # 309233.
- FLOYD HILL MEADOW CONSERVATION

AFS has voluntarily agreed to convey for the purpose of conservation to the Mountain Area Land Trust (MALT) Parcel #196311101209 (Homestead Parcel) to mitigate potential wildlife and viewshed impacts resulting from the proposed mining operation within one year of recording of this ODP.

ODP REPLACEMENT

THIS ODP REPLACES IN ITS ENTIRETY: (i) ODP RECORDED IN REZONING CASE #132, RECORDED IN BOOK 424, PAGES 423A-423G; (ii) AMENDMENT REZONING CASE #145, RECORDED IN BOOK 441, PAGES 486-494; (iii) REZONING CASE #265 AND MAJOR PLAN AMENDMENT CASE #01-PDA-02, RECORDED IN BOOK 561, PAGE 233; AND (iv) MINOR PLAN AMENDMENT CASE #PDA 2007-001, RECORDED AT RECEPTION #249601.

- HIGHWAY 6 STORMWATER STRUCTURE

AFS has voluntarily agreed to pay for and install a stormwater structure in the Highway 6 CDOT Right-of-Way within 3 years of CDOT approval in order to mitigate potential stormwater impacts in the right-of-way.
- COLORADO DIVISION OF RECLAMATION, MINING AND SAFETY

The subject property shall comply with the regulations and requirements of the Colorado Mined Land Reclamation Board and permit M-1983-033, as amended.
- COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT

The subject property shall comply with the regulations and requirements of the Colorado Department of Public Health and Environment.
- COLORADO DEPARTMENT OF TRANSPORTATION

The subject property shall comply with the regulations and requirements of the Colorado Department of Transportation and access permits 103033 and 103034.
- COLORADO DIVISION OF WATER RESOURCES

The reservoirs proposed by the Applicant are subject to applicable approvals by the Colorado Division of Water Resources. The subject property shall comply with the regulations and requirements of the Colorado Division of Water Resources.
- COUNTY, STATE, AND OTHER REGULATIONS

To the extent that applicable county or other governmental rules, regulations, codes, ordinances, laws, or permits are more restrictive than the preceding paragraphs, such applicable regulations shall supersede and govern at all times.
- CONDITIONS RUN WITH THE LAND

The conditions herein set forth are binding upon all owners and respective successors-in-interest and run with the land.
- REVISION AND/OR AMENDMENT

The conditions, restrictions, stipulations, agreements and covenants herein shall not be waived, abandoned, terminated, revised, nor amended except by unanimous written consent of the then property owners, and requisite consent of the then Board of County Commissioners.
- ENFORCEMENT

In case of any violation of the provisions hereof, the Board of County Commissioners may, in addition to other remedies at law, including an action for damages, have such violations enjoined or, in the case of erection or maintenance of any building, structure, or thing in violation of any of the provisions hereof, may have such building, structure, or thing removed by proper legal procedure. Inaction by the Board of County Commissioners to perfect and enforce its rights shall not be deemed a waiver of the right of enforcement of same, even though such inaction may be of long duration.
- SEVERABILITY

Invalidation of any of these restrictions or agreements by judgement or court order shall in no way affect any of the other provisions hereof, which shall remain in full force and effect.

PHASE 2 - POST-MINING PERMITTED USES, STIPULATIONS AND CONDITIONS

- Post-mining uses for the site may include industrial/commercial/public gathering, developed water resources, reclaimed slopes and benches, and undisturbed/buffer. See Sheet 3 for the Post-Mining Site Plan.
- Any post mining development on the subject property shall require the appropriate Clear Creek County Land use approvals per regulations that are in place at that time.
- This ODP creates two building envelopes during Phase 2 Post-Mining Uses; one consisting of the floor areas of the reclaimed Quarry and one located on the area south of Highway 6 (Texaco Placer). See Sheet 3 of the ODP for the location of these building envelopes. These building envelopes may be proposed to be amended during any required applicable land use approvals per regulations that are in place at that time.
- There are two water storage reservoirs and ancillary facilities (e.g., pump stations) proposed for the Phase 2 Post-Mining period. A court-approved water plan will be established prior to the construction and filling of these reservoirs.

TETRA TECH



APPLICANT:

ALBERT FREI & SONS, INC.
35715 HIGHWAY 40
BUILDING B, SUITE 120
EVERGREEN, CO 80439

AFS
ALBERT FREI & SONS

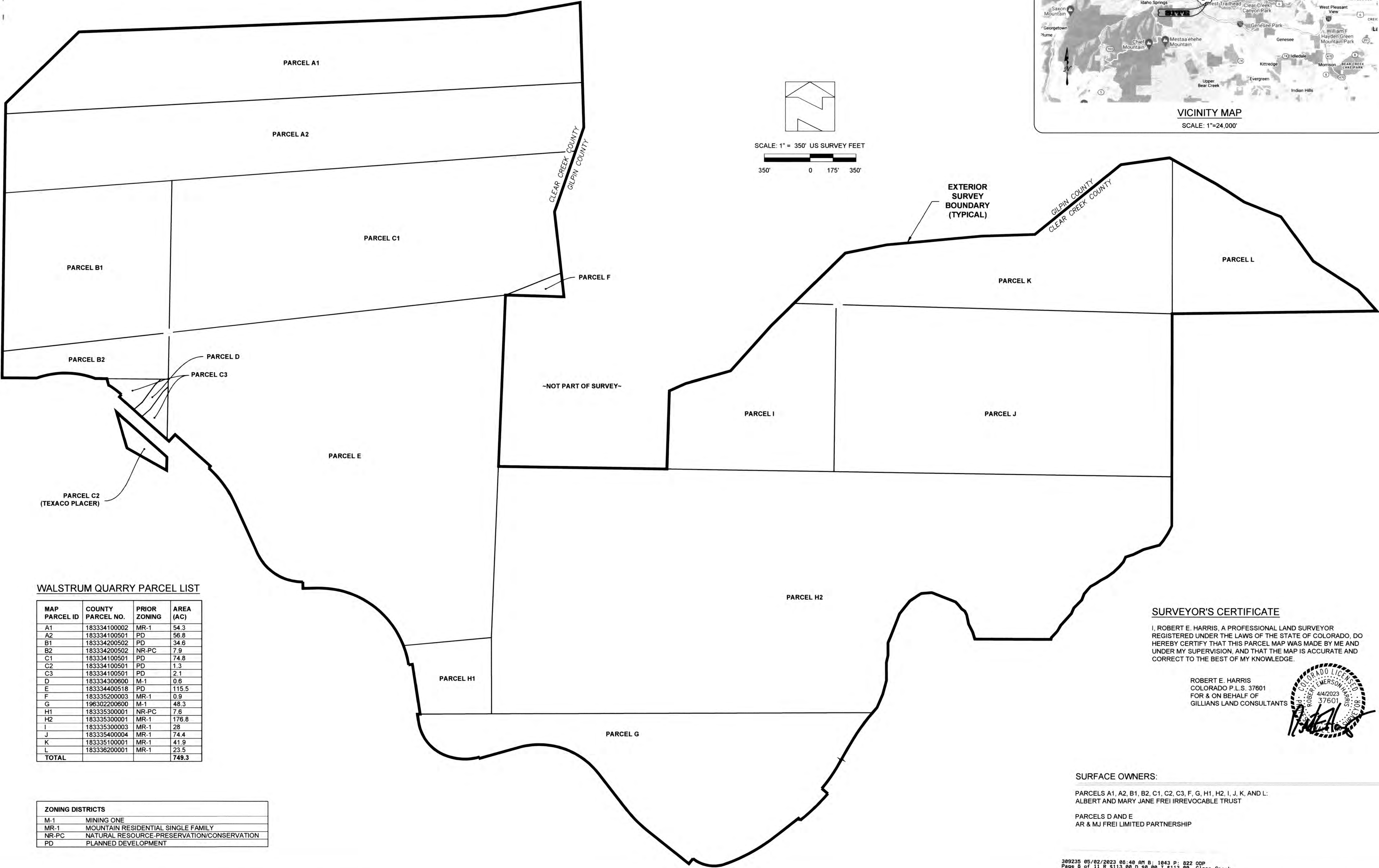
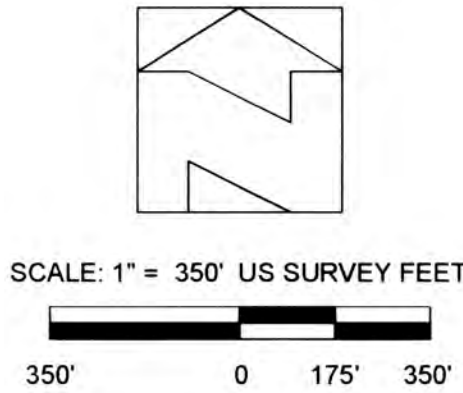
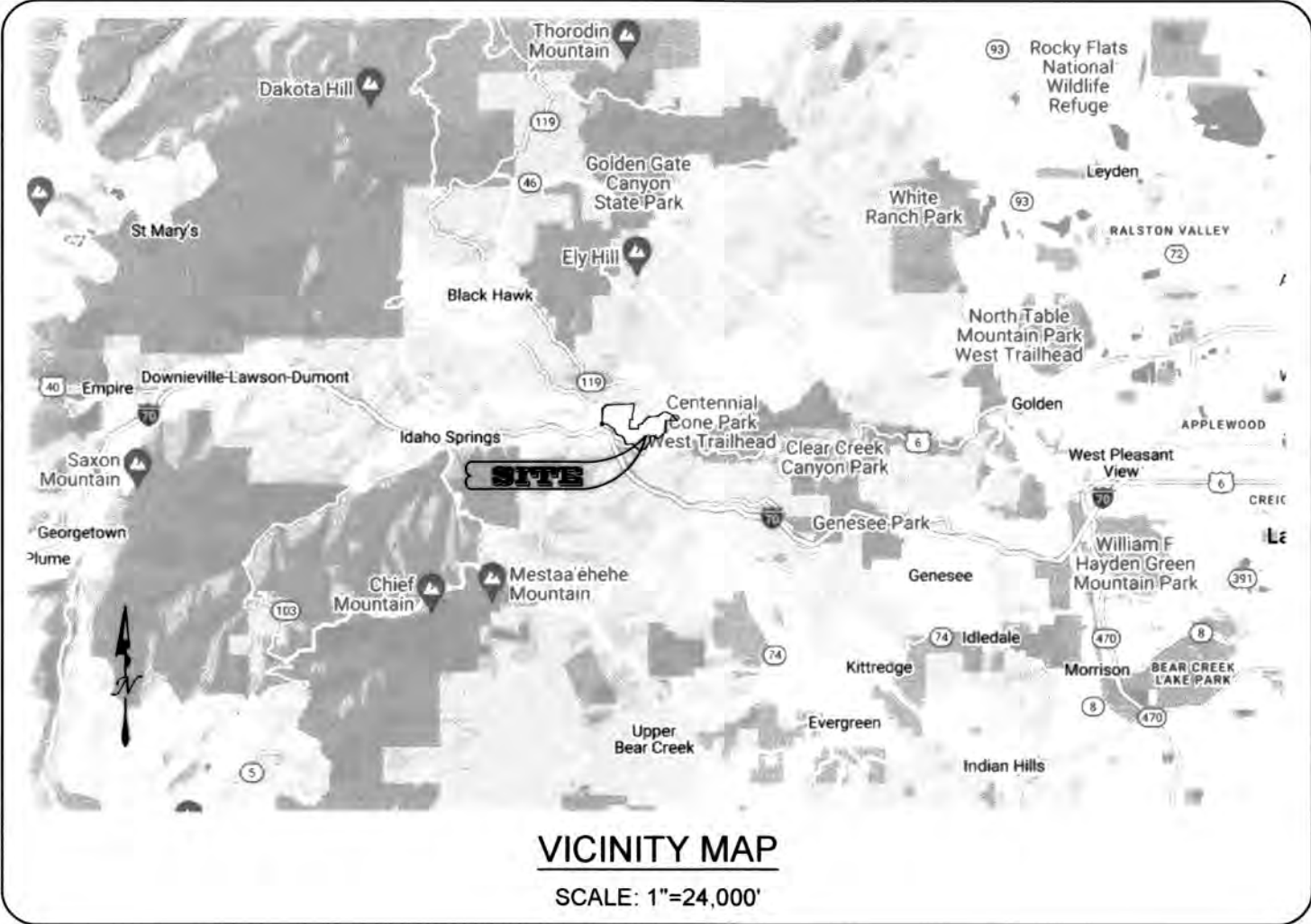
FINAL
APRIL 2023

ALBERT FREI & SONS, INC.
WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023
REZONING CASE # RZ2022-0001
PERMITTED USES,
STIPULATIONS & CONDITIONS

PROJ: 117-8700001
DES:
DRWN:
CHKD:
7

WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023
REZONING CASE #RZ2022-0001
PARCEL MAP

LOCATED IN SECTION 34, SECTION 35 AND THE NW1/4 OF SECTION 36, TOWNSHIP 3 SOUTH RANGE 72 WEST OF THE 6TH P.M., &
PART OF THE N 1/2 OF SECTION 2 AND PART OF THE NE 1/4 SECTION 3, TOWNSHIP 4 SOUTH, RANGE 72 WEST OF THE 6TH P.M.,
COUNTY OF CLEAR CREEK, STATE OF COLORADO



WALSTRUM QUARRY PARCEL LIST

MAP PARCEL ID	COUNTY PARCEL NO.	PRIOR ZONING	AREA (AC)
A1	183334100002	MR-1	54.3
A2	183334100501	PD	56.8
B1	183334200502	PD	34.6
B2	183334200502	NR-PC	7.9
C1	183334100501	PD	74.8
C2	183334100501	PD	1.3
C3	183334100501	PD	2.1
D	183334300600	M-1	0.6
E	183334400518	PD	115.5
F	183335200003	MR-1	0.9
G	196302200600	M-1	48.3
H1	183335300001	NR-PC	7.6
H2	183335300001	MR-1	176.8
I	183335300003	MR-1	28
J	183335400004	MR-1	74.4
K	183335100001	MR-1	41.9
L	183336200001	MR-1	23.5
TOTAL			749.3

ZONING DISTRICTS	
M-1	MINING ONE
MR-1	MOUNTAIN RESIDENTIAL SINGLE FAMILY
NR-PC	NATURAL RESOURCE-PRESERVATION/CONSERVATION
PD	PLANNED DEVELOPMENT

SURVEYOR'S CERTIFICATE

I, ROBERT E. HARRIS, A PROFESSIONAL LAND SURVEYOR
REGISTERED UNDER THE LAWS OF THE STATE OF COLORADO, DO
HEREBY CERTIFY THAT THIS PARCEL MAP WAS MADE BY ME AND
UNDER MY SUPERVISION, AND THAT THE MAP IS ACCURATE AND
CORRECT TO THE BEST OF MY KNOWLEDGE.

ROBERT E. HARRIS
COLORADO P.L.S. 37601
FOR & ON BEHALF OF
GILLIANS LAND CONSULTANTS



SURFACE OWNERS:

PARCELS A1, A2, B1, B2, C1, C2, C3, F, G, H1, H2, I, J, K, AND L:
ALBERT AND MARY JANE FREI IRREVOCABLE TRUST

PARCELS D AND E
AR & MJ FREI LIMITED PARTNERSHIP

FINAL
APRIL 2023

ALBERT FREI & SONS, INC.
WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023
REZONING CASE #RZ2022-0001
PARCEL MAP

PROJ: 117-8700001
DES:
DRWN:
CHKD:
8

AFS
ALBERT FREI & SONS

OPERATOR:
ALBERT FREI & SONS, INC.
35715 HIGHWAY 40,
BUILDING B, SUITE 120
EVERGREEN, CO 80439

Gillians
GILLIANS LAND CONSULTANTS
P.O. BOX 375
BENNETT, CO 80102
www.gilliansinc.com
JN: 22207

LAND SURVEYING
ALTIMAS SURVEYS
CONSULTING SERVICES

4/4/2023 10:48:09 AM - D:\DROPBOX\PROJECTS\2022\22207 WALSTRUM PD\PR-WALSTRUM\DWG\22207 ODP SHEETS 8-10.DWG - AMY BACHER

WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023

REZONING CASE #RZ2022-0001

LEGAL DESCRIPTION

LOCATED IN SECTION 34, SECTION 35 AND THE NW1/4 OF SECTION 36, TOWNSHIP 3 SOUTH RANGE 72 WEST OF THE 6TH P.M., & PART OF THE N 1/2 OF SECTION 2 AND PART OF THE NE 1/4 SECTION 3, TOWNSHIP 4 SOUTH, RANGE 72 WEST OF THE 6TH P.M., COUNTY OF CLEAR CREEK, STATE OF COLORADO

LEGAL DESCRIPTIONS (PER TITLE REPORTS N0026681-010-TO2-DS1 REV 10 & N0026680-010-TO2-DS1, REV 8)

PARCEL A1 (TAX PARCEL 1833-341-00-002)

THE NORTH HALF OF GOVERNMENT LOT 1, SECTION 34, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO;

AND

THE NORTHEAST ¼ OF SECTION 34 AND THE NORTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO;

EXCLUDING THE FOLLOWING:

PART OF THE NORTH ½ OF SECTION 34 AND THE NORTHWEST ¼ OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTER OF SAID SECTION 34;

THENCE S83°32'51"W ON THE SOUTH LINE OF THE NORTHWEST ¼ OF SAID SECTION 34 A DISTANCE OF 1,280.11 FEET;
THENCE N00°40'28"E ON THE WEST LINE OF THE EAST ½ OF THE NORTHWEST ¼ OF SAID SECTION 34, A DISTANCE OF 1,813.12 FEET;
THENCE N86°47'33"E ON THE NORTH LINE OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SAID SECTION 34, AND THIS LINE EXTENDED EAST, A DISTANCE OF 4,407.36 FEET TO THE CLEAR CREEK/GILPIN COUNTY LINE AS NOTED ON THE JOINT COUNTY SURVEY DATED 1902-1904, FILE AT THE CLEAR CREEK RECORDER;

THENCE ON THE SAID COUNTY LINE THE FOLLOWING 3 COURSES:

- S01°48'35"E A DISTANCE OF 343.92 FEET;
 - S18°59'25"W A DISTANCE OF 681.79 FEET;
 - S06°25'35"E A DISTANCE OF 468.32 FEET;
- THENCE S68°01'27"W, A DISTANCE OF 458.08 FEET TO THE EAST ¼ CORNER OF SAID SECTION 34;
THENCE S83°32'31"W ON THE SOUTH LINE OF THE NORTHEAST ¼ OF SAID SECTION 34, A DISTANCE OF 2,582.81 FEET TO THE POINT OF BEGINNING;

EXCEPTING THEREFROM, THAT PORTION DESCRIBED IN BOOK 849 AT PAGE 899, COUNTY OF CLEAR CREEK, STATE OF COLORADO.

PARCEL A2 (PART OF TAX PARCEL 1833-341-00-501)

THE SOUTH HALF OF GOVERNMENT LOT 1, SECTION, 34, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO;

AND

THE PORTION OF THE NORTHEAST ¼ OF SECTION 34, AND THE PORTION OF THE NORTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO, THAT LIE WITHIN THE FOLLOWING:

PART OF THE NORTH ½ OF SECTION 34 AND THE NORTHWEST ¼ OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTER OF SAID SECTION 34;
THENCE S83°32'51"W ON THE SOUTH LINE OF THE NORTHWEST ¼ OF SAID SECTION 34 A DISTANCE OF 1,280.11 FEET;
THENCE N00°40'28"E ON THE WEST LINE OF THE EAST ½ OF THE NORTHWEST ¼ OF SAID SECTION 34, A DISTANCE OF 1,813.12 FEET;
THENCE N86°47'33"E ON THE NORTH LINE OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SAID SECTION 34, AND THIS LINE EXTENDED EAST, A DISTANCE OF 4,407.36 FEET TO THE CLEAR CREEK/GILPIN COUNTY LINE AS NOTED ON THE JOINT COUNTY SURVEY DATED 1902-1904, FILE AT THE CLEAR CREEK RECORDER;

THENCE ON THE SAID COUNTY LINE THE FOLLOWING 3 COURSES:

- S01°48'35"E, A DISTANCE OF 343.92 FEET;
 - S18°59'25"W, A DISTANCE OF 681.79 FEET;
 - S06°25'35"E, A DISTANCE OF 468.32 FEET;
- THENCE S68°01'27"W A DISTANCE OF 458.08 FEET TO THE EAST ¼ CORNER OF SAID SECTION 34;
THENCE S83°32'31"W ON THE SOUTH LINE OF THE NORTHEAST ¼ OF SAID SECTION 34, A DISTANCE OF 2,582.81 FEET TO THE POINT OF BEGINNING;

EXCEPTING THEREFROM, THAT PORTION DESCRIBED IN BOOK 849 AT PAGE 899 COUNTY OF CLEAR CREEK, STATE OF COLORADO.

PARCEL B1 (PART OF TAX PARCEL 1833-342-00-502)

THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO.

PARCEL B2 (PART OF TAX PARCEL 1833-342-00-502)

A TRACT OF LAND LOCATED IN THE NORTHEAST ¼ OF THE SOUTHWEST ¼ OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE NORTHEAST ¼ OF THE SOUTHWEST ¼ OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 72 WEST;

THENCE SOUTHERLY ALONG THE WEST BOUNDARY OF SAID NORTHEAST ¼ OF THE SOUTHWEST ¼, SECTION 34 TO THE POINT OF INTERSECTION WITH LINE 3-4 OF THE WHITE STAR PLACER, U.S.M.S. NO. 19040;
THENCE EASTERLY ALONG LINE 3-4 OF SAID WHITE STAR PLACER TO COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) RIGHT OF WAY (ROW) MONUMENT NO. 3087 WHICH FALLS ON THE NORTH ROW LINE OF INTERSTATE 70 (AS DESCRIBED ON CDOT PROJECT NO. IM 0703-244);
THENCE EASTERLY ALONG SAID NORTH INTERSTATE 70 ROW LINE ALONG THE ARC OF A CURVE TO THE RIGHT TO CDOT ROW MONUMENT NO. 3073, SAID CDOT MONUMENT NO. 3073 BEING A POINT ON LINE 3-4 OF SAID WHITE STAR PLACER;
THENCE EASTERLY ALONG SAID NORTH INTERSTATE 70 ROW LINE, IDENTICAL WITH LINE 3-4 OF SAID WHITE STAR PLACER TO CDOT ROW MONUMENT NO. 171, IDENTICAL WITH CORNER NO. 4 OF SAID WHITE STAR PLACER AND CORNER NO. 5 OF THE TEXACO PLACER, U.S.M.S. NO. 20694;

THENCE EASTERLY ALONG LINE 5-6 OF SAID TEXACO PLACER TO CORNER NO. 6 OF SAID TEXACO PLACER, SAID CORNER NO. 6 BEING A POINT ON THE EAST BOUNDARY OF SAID NORTHEAST ¼ OF THE SOUTHWEST ¼, SECTION 34;
THENCE NORTHERLY ALONG THE EAST BOUNDARY OF SAID NORTHEAST ¼ OF THE SOUTHWEST ¼, SECTION 34 TO THE NORTHEAST CORNER OF SAID NORTHEAST ¼ OF THE SOUTHWEST ¼, SECTION 34;
THENCE WESTERLY ALONG THE NORTH BOUNDARY OF SAID NORTHEAST ¼ OF THE SOUTHWEST ¼, SECTION 34 TO THE NORTHWEST CORNER OF SAID NORTHEAST ¼ OF THE SOUTHWEST ¼, SECTION 34, THE POINT OF BEGINNING, COUNTY OF CLEAR CREEK, STATE OF COLORADO.

PARCEL C1 (PART OF TAX PARCEL 1833-341-00-501)

THE PORTION OF THE SOUTH ½ OF THE NORTHEAST ¼ OF SECTION 34, AND THE PORTION OF THE SOUTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO, THAT LIE WITHIN THE FOLLOWING:

PART OF THE NORTH ½ OF SECTION 34 AND THE NORTHWEST ¼ OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTER OF SAID SECTION 34;
THENCE S83°32'51"W ON THE SOUTH LINE OF THE NORTHWEST ¼ OF SAID SECTION 34 A DISTANCE OF 1,280.11 FEET;
THENCE N00°40'28"E ON THE WEST LINE OF THE EAST ½ OF THE NORTHWEST ¼ OF SAID SECTION 34, A DISTANCE OF 1,813.12 FEET;
THENCE N86°47'33"E ON THE NORTH LINE OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SAID SECTION 34, AND THIS LINE EXTENDED EAST, A DISTANCE OF 4,407.36 FEET TO THE CLEAR CREEK/GILPIN COUNTY LINE AS NOTED ON THE JOINT COUNTY SURVEY DATED 1902-1904, FILE AT THE CLEAR CREEK RECORDER;

PARCEL C1 (PART OF TAX PARCEL 1833-341-00-501) CONTINUED

THENCE ON THE SAID COUNTY LINE THE FOLLOWING 3 COURSES:

- S01°48'35"E, A DISTANCE OF 343.92 FEET;
 - S18°59'25"W, A DISTANCE OF 681.79 FEET;
 - S06°25'35"E, A DISTANCE OF 468.32 FEET;
- THENCE S68°01'27"W A DISTANCE OF 458.08 FEET TO THE EAST ¼ CORNER OF SAID SECTION 34;
THENCE S83°32'31"W ON THE SOUTH LINE OF THE NORTHEAST ¼ OF SAID SECTION 34, A DISTANCE OF 2,582.81 FEET TO THE POINT OF BEGINNING;

EXCEPTING THEREFROM, THAT PORTION DESCRIBED IN BOOK 849 AT PAGE 899 COUNTY OF CLEAR CREEK, STATE OF COLORADO.

PARCEL C2 (PART OF TAX PARCEL 1833-341-00-501)

BEGINNING AT THE SOUTH ¼ CORNER OF SAID SECTION 34;

THENCE N00°57'45"E ALONG THE NORTH-SOUTH CENTER LINE OF SAID SECTION 34 1,503.40 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE NORTHERLY RIGHT OF WAY LINE OF U.S. HIGHWAY #40;
THENCE CONTINUING ALONG THE BEFORE DESCRIBED LINE, 107.60 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF U.S. HIGHWAY #6;
THENCE N48°15'15"W ALONG THE SOUTHERLY RIGHT OF WAY LINE OF U.S. HIGHWAY #6, 515.91 FEET;
THENCE S16°08'52"E, 294.03 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF U.S. HIGHWAY #40;
THENCE S60°39'45"E, 345.20 FEET TO THE POINT OF BEGINNING;

EXCEPTING THEREFROM ANY PORTIONS THEREOF CONVEYED FOR HIGHWAY PURPOSES IN THE DEEDS RECORDED IN BOOK 263 AT PAGE 329 AND IN BOOK 270 AT PAGE 55, COUNTY OF CLEAR CREEK, STATE OF COLORADO.

PARCEL C3 (PART OF TAX PARCEL 1833-341-00-501)

BEGINNING AT THE SOUTH ¼ CORNER OF SAID SECTION 34;

THENCE N00°57'45"E ALONG THE NORTH-SOUTH CENTER LINE OF SAID SECTION 34, 1,743.07 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING ON THE NORTHERLY RIGHT OF WAY LINE OF U.S. HIGHWAY #6;
THENCE CONTINUING ALONG THE BEFORE DESCRIBED LINE 456.84 FEET TO POINT #6 OF SAID TEXACO PLACER;
THENCE S89°54'45"W 467.12 FEET TO POINT #5 OF SAID TEXACO PLACER, SAID POINT BEING ON THE NORTHERLY RIGHT OF WAY LINE OF U.S. HIGHWAY #6;
THENCE SOUTHEASTERLY ALONG THE NORTHERLY RIGHT OF WAY LINE OF U.S. HIGHWAY #6 FOR THE FOLLOWING 4 COURSES:
1. S16°08'15"E 42.69 FEET TO A POINT OF CURVATURE;
2. THENCE ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 11°38'40", A RADIUS OF 648.00 FEET, AND AN ARC LENGTH OF 131.70 FEET, WHOSE CHORD BEARING IS S54°04'36"E 131.47 FEET;
3. THENCE S41°44'45"W 25.00 FEET;
4. THENCE S48°15'15"E 479.50 FEET TO THE POINT OF BEGINNING;

EXCEPTING THEREFROM, ANY PORTION THEREOF CONVEYED FOR HIGHWAY PURPOSES AS DESCRIBED IN BOOK 263 AT PAGE 329 AND BOOK 270 AT PAGE 55, COUNTY OF CLEAR CREEK, STATE OF COLORADO.

AND

EXCEPT

A PORTION OF THE TEXACO PLACER MINING CLAIM, U. S. MINERAL SURVEY NO. 20694, 80 FEET IN WIDTH, BEING 20 FEET SOUTHEASTERLY AND 60 FEET NORTHWESTERLY OF THE FOLLOWING DESCRIBED CENTERLINE:
BEGINNING AT CORNER NO. 6 OF THE TEXACO PLACER, SURVEY NO. 20694;
THENCE S. 01°03'00" W., 29.91 FEET TO THE TRUE POINT OF BEGINNING;
THENCE S. 46°37'30" W., 74.77 FEET;
THENCE S. 35°54'30" W., 165.89 FEET;
THENCE S. 49°22" W., TO THE NORTHEASTERLY LINE OF U.S. HIGHWAY 6;

EXCEPTING THEREFROM ANY PORTION CONVEYED TO STATE DEPARTMENT OF HIGHWAYS BY INSTRUMENT RECORDED FEBRUARY 29, 1972, IN BOOK 330 PAGE 687, AND EXCEPT ANY PORTION NOT LYING WITHIN THE BOUNDARIES OF CLEAR CREEK COUNTY, STATE OF COLORADO.

PARCEL D (PART OF TAX PARCEL 1833-343-00-600)

A PORTION OF THE TEXACO PLACER MINING CLAIM, U. S. MINERAL SURVEY NO. 20694, 80 FEET IN WIDTH, BEING 20 FEET SOUTHEASTERLY AND 60 FEET NORTHWESTERLY OF THE FOLLOWING DESCRIBED CENTERLINE:
BEGINNING AT CORNER NO. 6 OF THE TEXACO PLACER, SURVEY NO. 20694;
THENCE S. 01°03'00" W., 29.91 FEET TO THE TRUE POINT OF BEGINNING;
THENCE S. 46°37'30" W., 74.77 FEET;
THENCE S. 35°54'30" W., 165.89 FEET;
THENCE S. 49°22" W., TO THE NORTHEASTERLY LINE OF U.S. HIGHWAY 6;

EXCEPTING THEREFROM ANY PORTION CONVEYED TO STATE DEPARTMENT OF HIGHWAYS BY INSTRUMENT RECORDED FEBRUARY 29, 1972, IN BOOK 330 PAGE 687,

AND EXCEPT ANY PORTION NOT LYING WITHIN THE BOUNDARIES OF CLEAR CREEK COUNTY, STATE OF COLORADO.

PARCEL E (PART OF TAX PARCEL 1833-344-00-518)

THE SOUTHEAST ¼ OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO.

EXCEPT THOSE PORTIONS DEEDED TO THE STATE OF COLORADO, DEPARTMENT OF HIGHWAYS, BY INSTRUMENTS RECORDED IN BOOK 264 PAGE 278, BOOK 264 PAGE 280, BOOK 330 PAGE 370, BOOK 330 PAGE 372, AND BY RULE AND ORDER RECORDED IN BOOK 334 PAGE 357,

EXCEPT THAT PORTION DESCRIBED IN SPECIAL WARRANTY DEED RECORDED MARCH 2, 2012 IN BOOK 849 PAGE 854.

PARCEL F (PART OF TAX PARCEL 1833-352-00-003)

THE SOUTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO;

EXCEPTING THEREFROM:

PART OF THE NORTH ½ OF SECTION 34 AND THE NORTHWEST ¼ OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE CENTER OF SAID SECTION 34;
THENCE S83°32'51"W ON THE SOUTH LINE OF THE NORTHWEST ¼ OF SAID SECTION 34, A DISTANCE OF 1,280.11 FEET;
THENCE N00°40'28"E ON THE WEST LINE OF THE EAST ½ OF THE NORTHWEST ¼ OF SAID SECTION 34, A DISTANCE OF 1,813.12 FEET;
THENCE N86°47'33"E ON THE NORTH LINE OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SAID SECTION 34, AND THIS LINE EXTENDED EAST, A DISTANCE OF 4,407.36 FEET TO THE CLEAR CREEK/GILPIN COUNTY LINE AS NOTED ON THE JOINT COUNTY SURVEY DATED 1902-1904, FILE AT THE CLEAR CREEK RECORDER;
THENCE ON THE SAID COUNTY LINE THE FOLLOWING 3 COURSES:
1. S01°48'35"E, A DISTANCE OF 343.92 FEET;

2. S18°59'25"W, A DISTANCE OF 681.79 FEET;

3. S06°25'35"E, A DISTANCE OF 468.32 FEET;

THENCE S68°01'27"W A DISTANCE OF 458.08 FEET TO THE EAST ¼ CORNER OF SAID SECTION 34;

THENCE S83°32'31"W ON THE SOUTH LINE OF THE NORTHEAST ¼ OF SAID SECTION 34 A DISTANCE OF 2,582.81 FEET TO THE POINT OF BEGINNING;

EXCEPTING THEREFROM, THAT PORTION DESCRIBED IN BOOK 849 AT PAGE 899, COUNTY OF CLEAR CREEK, STATE OF COLORADO.

PARCEL G (TAX PARCEL 1963-022-00-600)

THE SOUTH BEND PLACER MINING CLAIM, U.S. MINERAL SURVEY NO. 19242 AS SET FORTH IN PATENT RECORDED IN BOOK 194 AT PAGE 9 AND DECREE RECORDED IN BOOK 273 AT PAGE 36, EXCEPT THAT PORTION GRANTED TO THE HIGHWAY BY DECREE RECORDED IN BOOK 225 AT PAGE 295;

EXCEPTING THEREFROM, THE FOLLOWING DESCRIBED PARCELS:

PARCEL A (ALSO KNOWN AS LOT 1 ACCORDING TO THE LAND SURVEY PLAT RECORDED IN BOOK 849 AT PAGE 831 AT RECEPTION NO. 263521), SOUTH BEND DIVISION OF LAND, MORE PARTICULARLY DESCRIBED AS:
THAT PART OR PORTION OF THE SOUTH BEND PLACER, U.S. MINERAL SURVEY NO. 19242, SITUATED IN THE NORTHEAST ¼ OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO DESCRIBED AS FOLLOWS:

COMMENCING AT CORNER NO. 2 OF SAID SOUTH BEND PLACER;

THENCE S89°51'00"E ALONG LINE 1-2 OF SAID PLACER, A DISTANCE OF 355.65 FEET TO A POINT AT THE HIGH WATER LINE OF THE WEST BANK OF CLEAR CREEK, THE POINT OF BEGINNING;
THENCE ALONG SAID HIGH WATER LINE THE FOLLOWING TEN (10) COURSES:

- S10°40'47"W, A DISTANCE OF 64.21 FEET;
- S02°48'15"W, A DISTANCE OF 59.88 FEET;
- S06°54'34"E, A DISTANCE OF 64.02 FEET;
- S26°42'00"E, A DISTANCE OF 106.68 FEET;
- S33°44'46"E, A DISTANCE OF 100.26 FEET;
- S47°31'09"E, A DISTANCE OF 83.43 FEET;
- S53°06'25"E, A DISTANCE OF 172.15 FEET;
- S83°21'40"E, A DISTANCE OF 166.39 FEET;
- N79°01'14"E, A DISTANCE OF 132.24 FEET;
- N87°08'40"E, A DISTANCE OF 25.89 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE FOR U.S. HIGHWAY NO. 6.

THENCE N00°50'32"W ALONG SAID WESTERLY RIGHT OF WAY LINE, A DISTANCE OF 34.09 FEET TO THE COLORADO DEPARTMENT OF TRANSPORTATION'S RIGHT OF WAY MONUMENT NO. 362;
THENCE ALONG THE SOUTHWESTERLY RIGHT OF WAY LINE FOR U.S. HIGHWAY NO. 6 THE FOLLOWING THREE (3) COURSES:

- ALONG THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 557.50 FEET, A CENTRAL ANGLE OF 22°15'30" FOR AN ARC DISTANCE OF 216.58 FEET, THE CHORD OF THIS ARC BEARS N79°42'47"W, A DISTANCE OF 215.22 FEET;
- ALONG THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 462.00 FEET, A CENTRAL ANGLE OF 60°00'00" FOR AN ARC DISTANCE OF 483.81 FEET, THE CHORD OF THIS ARC BEARS N38°35'02"W, A DISTANCE OF 462.00 FEET;
- N08°35'00"W, A DISTANCE OF 84.60 FEET TO THE COLORADO DEPARTMENT OF TRANSPORTATION'S RIGHT OF WAY MONUMENT NO. 352, SAID MONUMENT BEING A POINT ON LINE 1-2 OF THE SOUTH BEND PLACER;

THENCE N89°51'00"W ALONG SAID LINE 1-2, A DISTANCE OF 103.65 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM:

ALL THAT PORTION OF THE SOUTH BEND PLACER, U.S.M.S. NO. 18242 LYING SOUTHERLY OF THE SOUTH RIGHT OF WAY (ROW) LINE (AUGUST 2011) OF U.S. HIGHWAY NO. 6 (AS DESCRIBED ON COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) PROJECT NO. CR100-137) AND EASTERLY OF THE WEST LINE OF SECTION 2, TOWNSHIP 4 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT CDOT ROW MONUMENT NO. 365 AS DESCRIBED ON CDOT PROJECT NO. CR100-137, WHICH FALLS ON THE SOUTH ROW LINE OF U.S. HIGHWAY NO. 6, SAID POINT BEING THE TRUE POINT OF BEGINNING;
THENCE NORTHWESTERLY ALONG SAID SOUTH ROW LINE TO THE CALCULATED POSITION OF CDOT ROW MONUMENT NO. 366 (NOT SET);
THENCE NORTHEASTERLY ALONG SAID SOUTH ROW LINE TO CDOT ROW MONUMENT NO. 367;
THENCE SOUTHEASTERLY ALONG SAID SOUTH ROW LINE ALONG THE ARC OF A CURVE TO THE RIGHT TO THE CALCULATED POSITION OF CDOT ROW MONUMENT NO. 368 (NOT SET);
THENCE SOUTHWESTERLY ALONG SAID SOUTH ROW LINE TO CDOT ROW MONUMENT NO. 369;
THENCE SOUTHEASTERLY ALONG SAID SOUTH ROW LINE ALONG THE ARC OF A CURVE TO THE LEFT TO CDOT ROW MONUMENT NO. 370;
THENCE SOUTHEASTERLY ALONG SAID SOUTH ROW LINE TO THE CALCULATED POSITION OF CDOT ROW MONUMENT NO. 340 (NOT SET);
THENCE SOUTHWESTERLY ALONG SAID SOUTH ROW LINE TO THE CALCULATED POSITION OF CDOT ROW MONUMENT NO. 341 (NOT SET);
THENCE SOUTHEASTERLY ALONG SAID SOUTH ROW LINE TO CDOT ROW MONUMENT NO. 371;
THENCE SOUTHEASTERLY ALONG SAID SOUTH ROW LINE ALONG THE ARC OF A CURVE TO THE LEFT TO CDOT ROW MONUMENT NO. 342;
THENCE NORTHEASTERLY ALONG SAID SOUTH ROW LINE TO CDOT ROW MONUMENT NO. 343;
THENCE SOUTHEASTERLY ALONG SAID SOUTH ROW LINE ALONG THE ARC OF A CURVE TO THE LEFT TO CDOT ROW MONUMENT NO. 372;
THENCE NORTHWESTERLY ALONG SAID SOUTH ROW LINE TO THE CALCULATED POSITION OF CDOT ROW MONUMENT NO. 373 (NOT SET);
THENCE NORTHEASTERLY ALONG SAID SOUTH ROW LINE ALONG THE ARC OF A CURVE TO THE LEFT TO THE CALCULATED POSITION OF CDOT ROW MONUMENT NO. 374 (NOT SET);
THENCE NORTHEASTERLY ALONG SAID SOUTH ROW LINE ALONG THE ARC OF A CURVE TO THE LEFT TO CDOT ROW MONUMENT NO. 375;
THENCE NORTHEASTERLY ALONG SAID SOUTH ROW LINE TO THE CALCULATED POSITION OF CDOT ROW MONUMENT NO. 376 (NOT SET);
THENCE NORTHEASTERLY ALONG SAID SOUTH ROW LINE ALONG THE ARC OF A CURVE TO THE LEFT TO THE CALCULATED POSITION OF CDOT ROW MONUMENT NO. 377 (NOT SET);
THENCE NORTHEASTERLY ALONG SAID SOUTH ROW TO THE CALCULATED POSITION OF CDOT ROW MONUMENT NO. 379 (NOT SET);
THENCE NORTHEASTERLY ALONG SAID SOUTH ROW LINE ALONG THE ARC OF A SPIRAL CURVE TO THE RIGHT TO THE CALCULATED POSITION OF CDOT ROW MONUMENT NO. 380 (NOT SET);
THENCE NORTHEASTERLY ALONG SAID SOUTH ROW LINE ALONG THE ARC OF A CURVE TO THE RIGHT BETWEEN CDOT ROW MONUMENT NOS. 380 AND 381 TO THE POINT OF INTERSECTION WITH LINE 109 OF SAID SOUTH BEND PLACER;
THENCE EASTERLY ALONG SAID LINE 1-9 OF THE SOUTH BEND PLACER TO CORNER NO. 9 OF SAID SOUTH BEND PLACER;
THENCE SOUTHERLY ALONG LINE 9-8 OF SAID SOUTH BEND PLACER TO CORNER NO. 8 OF SAID SOUTH BEND PLACER;
THENCE WESTERLY ALONG LINE 8-7 OF SAID SOUTH BEND PLACER TO CORNER NO. 7 OF SAID SOUTH BEND PLACER;
THENCE SOUTHERLY ALONG LINE 7-6 OF SAID SOUTH BEND PLACER TO CORNER NO. 6 OF SAID SOUTH BEND PLACER;
THENCE WESTERLY ALONG LINE 6-5 OF SAID SOUTH BEND PLACER TO CORNER NO. 5 OF SAID SOUTH BEND PLACER;
THENCE NORTHERLY ALONG LINE 5-4 OF SAID SOUTH BEND PLACER TO CORNER NO. 4 OF SAID SOUTH BEND PLACER;
THENCE WESTERLY ALONG LINE 4-3 OF SAID SOUTH BEND PLACER TO THE POINT OF INTERSECTION WITH THE WEST LINE OF SECTION 2;
THENCE NORTHERLY ALONG THE WEST LINE OF SAID SECTION 2 TO THE POINT OF INTERSECTION WITH THE SOUTH ROW LINE OF U.S. HIGHWAY NO. 6 BETWEEN CDOT ROW MONUMENT NOS. 364 AND 365;
THENCE NORTHEASTERLY ALONG SAID SOUTH ROW LINE TO THE TRUE POINT OF BEGINNING.

AND ALSO EXCEPTING THEREFROM:

THAT PART OF THE SOUTH BEND PLACER, U.S. MINERAL SURVEY NO. 19242 WITHIN THE NORTHEAST ¼ OF SECTION 2, TOWNSHIP 4 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO, DESCRIBED AS FOLLOW:

BEGINNING AT A POINT AT THE INTERSECTION OF LINE 1-9 OF SAID SOUTH BEND PLACER AND THE NORTHWESTERLY RIGHT OF WAY LINE FOR U.S. HIGHWAY NO. 6 FROM WHICH POINT CORNER NO. 9 OF SAID PLACER BEARS N89°42'52"E, A DISTANCE OF 414.16 FEET;
THENCE ALONG SAID RIGHT OF WAY LINE ON AN ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 888.51 FEET, A CENTRAL ANGLE OF 02°15'16" FOR AN ARC DISTANCE OF 34.17 FEET, THE CHORD OF THIS ARC BEARS S46°27'37"W, A DISTANCE OF 34.17 FEET;
THENCE ALONG SAID RIGHT OF WAY LINE ON AN ARC OF A SPIRAL CURVE TO THE LEFT A DISTANCE OF 57.62 FEET, THE CHORD OF THIS ARC BEARS S43°30'10"W A DISTANCE OF 57.62 FEET;
THENCE ALONG SAID RIGHT OF WAY LINE N48°22'30"W, A DISTANCE OF 89.98 FEET;
THENCE DEPARTING SAID RIGHT OF WAY N41°40'21"E, A DISTANCE OF 6.30 FEET TO A POINT ON SAID LINE 1-9 OF THE SOUTH BEND PLACER;
THENCE N89°42'52"E ALONG SAID LINE 1-9, A DISTANCE OF 127.34 FEET TO THE POINT OF BEGINNING.



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FINAL
APRIL 2023

ALBERT FREI & SONS, INC.
WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023
REZONING CASE #RZ2022-0001
LEGAL DESCRIPTION

PROJ: 117-8700001

DESJ:

DRWN:

CHKD:

9

OPERATOR:

ALBERT FREI & SONS, INC.
35715 HIGHWAY 40,
BUILDING B, SUITE 120
EVERGREEN, CO 80439

ALBERT FREI & SONS

Gillians

LAND SURVEYING
ALTAIR SURVEYS
BENNETT CO 80102
www.gilliansinc.com
JN: 22207

Bar Measures 1 inch, otherwise drawing not to scale

WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023

REZONING CASE #RZ2022-0001

LEGAL DESCRIPTION

LOCATED IN SECTION 34, SECTION 35 AND THE NW1/4 OF SECTION 36, TOWNSHIP 3 SOUTH RANGE 72 WEST OF THE 6TH P.M., & PART OF THE N 1/2 OF SECTION 2 AND PART OF THE NE 1/4 SECTION 3, TOWNSHIP 4 SOUTH, RANGE 72 WEST OF THE 6TH P.M., COUNTY OF CLEAR CREEK, STATE OF COLORADO

LEGAL DESCRIPTIONS (CONTINUED)

PARCEL H1 (PART OF TAX PARCEL 1833-353-00-001)

PORTION OF THE FOLLOWING DESCRIPTION **THAT LIES WITHIN** GOVERNMENT LOT 1 OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO;

THOSE PORTIONS OF GOVERNMENT LOTS 1 AND 2 OF SECTION 2, TOWNSHIP 4 SOUTH, RANGE 72 WEST TOGETHER WITH A PORTION OF GOVERNMENT LOT 1 OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 3;
THENCE S89°49'42"E ALONG THE NORTH LINE OF SAID SECTION, A DISTANCE OF 3,038.70 FEET TO A POINT ON THE WESTERLY HIGH WATER LINE OF CLEAR CREEK;
THENCE ALONG SAID WESTERLY LINE THE FOLLOWING SEVEN (7) COURSES:

- S23°04'13"W, A DISTANCE OF 31.29 FEET;
- S00°08'03"W, A DISTANCE OF 95.94 FEET;
- S12°27'03"W, A DISTANCE OF 58.12 FEET;
- S00°18'43"E, A DISTANCE OF 135.25 FEET;
- S15°22'42"W, A DISTANCE OF 110.22 FEET;
- S22°49'41"W, A DISTANCE OF 111.26 FEET;
- S41°40'21"W, A DISTANCE OF 51.56 FEET TO A POINT AT THE INTERSECTION OF LINE 9-1 OF THE SOUTH BEND PLACER, U.S. MINERAL SURVEY NO. 19242;

THENCE S89°42'52"W ALONG SAID LINE 9-1, A DISTANCE OF 2,754.39 FEET TO CORNER NO. 1 OF SAID SOUTH BEND PLACER;
THENCE N89°51'00"W ALONG LINE 1-2 OF SAID PLACER A DISTANCE OF 698.82 FEET TO THE COLORADO DEPARTMENT OF TRANSPORTATION'S RIGHT OF WAY MONUMENT NO. 250, MARKING AN ANGLE POINT ON THE EASTERLY RIGHT OF WAY LINE FOR U.S. HIGHWAY NO. 6;
THENCE ALONG SAID EASTERLY RIGHT OF WAY THE FOLLOWING THREE (3) COURSES:

- N08°35'00"W, A DISTANCE OF 385.95 FEET;
- S81°24'59"W, A DISTANCE OF 30.00 FEET;
- ON THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 686.60 FEET, A CENTRAL ANGLE OF 12°43'37" FOR AN ARC DISTANCE OF 152.51 FEET, THE CHORD OF THIS ARC BEARS N14°56'49"W, A DISTANCE OF 152.20 FEET TO A POINT AT THE INTERSECTION OF THE NORTHERLY LINE OF GOVERNMENT LOT 1 OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 72 WEST;

THENCE N84°47'47"E ALONG SAID NORTHERLY LINE A DISTANCE OF 673.69 FEET TO THE POINT OF BEGINNING, COUNTY OF CLEAR CREEK, STATE OF COLORADO.

PARCEL H2 (PART OF TAX PARCEL 1833-353-00-001)

PORTION OF THE FOLLOWING DESCRIPTION **THAT LIES WITHIN** GOVERNMENT LOTS 1 AND 2 OF SECTION 2, TOWNSHIP 4 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO;
THOSE PORTIONS OF GOVERNMENT LOTS 1 AND 2 OF SECTION 2, TOWNSHIP 4 SOUTH, RANGE 72 WEST TOGETHER WITH A PORTION OF GOVERNMENT LOT 1 OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 3;
THENCE S89°49'42"E ALONG THE NORTH LINE OF SAID SECTION, A DISTANCE OF 3,038.70 FEET TO A POINT ON THE WESTERLY HIGH WATER LINE OF CLEAR CREEK;
THENCE ALONG SAID WESTERLY LINE THE FOLLOWING SEVEN (7) COURSES:

- S23°04'13"W, A DISTANCE OF 31.29 FEET;
- S00°08'03"W, A DISTANCE OF 95.94 FEET;
- S12°27'03"W, A DISTANCE OF 58.12 FEET;
- S00°18'43"E, A DISTANCE OF 135.25 FEET;
- S15°22'42"W, A DISTANCE OF 110.22 FEET;
- S22°49'41"W, A DISTANCE OF 111.26 FEET;
- S41°40'21"W, A DISTANCE OF 51.56 FEET TO A POINT AT THE INTERSECTION OF LINE 9-1 OF THE SOUTH BEND PLACER, U.S. MINERAL SURVEY NO. 19242;

THENCE S89°42'52"W ALONG SAID LINE 9-1 A DISTANCE OF 2,754.39 FEET TO CORNER NO. 1 OF SAID SOUTH BEND PLACER;
THENCE N89°51'00"W ALONG LINE 1-2 OF SAID PLACER A DISTANCE OF 698.82 FEET TO COLORADO DEPARTMENT OF TRANSPORTATION'S RIGHT OF WAY MONUMENT NO. 250, MARKING AN ANGLE POINT ON THE EASTERLY RIGHT OF WAY LINE FOR U.S. HIGHWAY NO. 6;
THENCE ALONG SAID EASTERLY RIGHT OF WAY THE FOLLOWING THREE (3) COURSES:

- N08°35'00"W, A DISTANCE OF 385.95 FEET;
- S81°24'59"W, A DISTANCE OF 30.00 FEET;
- ON THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 686.60 FEET, A CENTRAL ANGLE OF 12°43'37" FOR AN ARC DISTANCE OF 152.51 FEET, THE CHORD OF THIS ARC BEARS N14°56'49"W, A DISTANCE OF 152.20 FEET, TO A POINT AT THE INTERSECTION OF THE NORTHERLY LINE OF GOVERNMENT LOT 1 OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 72 WEST;

THENCE N84°47'47"E ALONG SAID NORTHERLY LINE, A DISTANCE OF 673.69 FEET TO THE POINT OF BEGINNING, COUNTY OF CLEAR CREEK, STATE OF COLORADO.
AND

THE SOUTH ½ OF THE SOUTH ½ OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN;

EXCEPTING THEREFROM, ANY PORTION OF THE ABOVE DESCRIBED LAND AS CURRENTLY LOCATED WITHIN U.S. HIGHWAY 6;

AND
EXCEPTING THEREFROM, THAT PORTION DESCRIBED AS CLEAR CREEK OPEN SPACE "LITTLE OXBOW" AS CONVEYED TO CLEAR CREEK COUNTY IN THE DEED RECORDED MARCH 2, 2012 IN BOOK 849 AT PAGE 867;

AND
EXCEPTING THEREFROM, THAT PORTION AS CONVEYED TO CLEAR CREEK COUNTY IN THE DEED RECORDED DECEMBER 16, 2014 IN BOOK 894 AT PAGE 851;

AND
EXCEPTING THEREFROM, THAT PORTION AS CONVEYED TO THE DEPARTMENT OF TRANSPORTATION, STATE OF COLORADO IN THE DEED RECORDED MARCH 15, 2013 IN BOOK 868 AT PAGE 270, COUNTY OF CLEAR CREEK, STATE OF COLORADO.

PARCEL I (TAX PARCEL 1833-353-00-003)

THAT PART OF THE NORTHEAST ¼ OF THE SOUTHWEST ¼ OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN LYING WITHIN CLEAR CREEK COUNTY, STATE OF COLORADO.

PARCEL J (TAX PARCEL 1833-354-00-004)

THE NORTH ½ OF THE SOUTHEAST ¼ OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF CLEAR CREEK, STATE OF COLORADO.

PARCEL K (TAX PARCEL 1833-351-00-001)

THAT PART OF THE SOUTH ½ OF THE NORTHEAST ¼ OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN LYING WITHIN CLEAR CREEK COUNTY, COUNTY OF CLEAR CREEK, STATE OF COLORADO.

NOTE: THE ABOVE LEGAL REFERENCING THAT PART LYING WITHIN CLEAR CREEK COUNTY IS PRESUMED TO BE BASED ON THE LAND SURVEY PLAT OF A RESURVEY OF A PORTION OF THE CLEAR CREEK - GILPIN COUNTY LINE RECORDED JANUARY 12, 2016 IN BOOK 912 AT PAGE 336 IN CLEAR CREEK COUNTY.

AND

THE PORTION OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 72 WEST **THAT LIES WITHIN** CLEAR CREEK COUNTY, STATE OF COLORADO.

PARCEL L (TAX PARCEL 1833-362-00-001)

THE SOUTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 36, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN, **EXCEPT** ANY PORTION THEREOF LYING IN GILPIN COUNTY AS SHOWN ON THE LAND SURVEY PLAT OF A RESURVEY OF A PORTION OF THE CLEAR CREEK-GILPIN COUNTY LINE, MONUMENTS 188-287 RECORDED JANUARY 12, 2016 IN BOOK 912 AT PAGE 336, RECEPTION NO. 278827, COUNTY OF CLEAR CREEK, STATE OF COLORADO.

GENERAL SURVEY NOTES

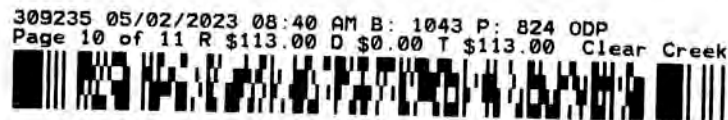
- NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
- THIS LAND SURVEY PLAT, AND THE INFORMATION HEREON, MAY NOT BE USED FOR ANY ADDITIONAL OR EXTENDED PURPOSES BEYOND THAT FOR WHICH IT WAS INTENDED AND MAY NOT BE USED BY ANY PARTIES OTHER THAN THOSE TO WHICH IT IS CERTIFIED.
- BASIS OF BEARING: THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE 6TH PRINCIPAL MERIDIAN IS ASSUMED TO BEAR N87°45'35"E, A DISTANCE OF 2529.01', MONUMENTED AS SHOWN HEREON.
- UNDERGROUND UTILITIES ARE NOT SHOWN.
- DATES OF FIELD WORK: 2003 THROUGH JUNE 2020.
- DISTANCES ON THIS SURVEY ARE EXPRESSED IN US SURVEY FEET AND DECIMALS THEREOF. A US SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.

LINE TABLE		
LINE	BEARING	LENGTH
L50	S74°35'48"W	123.80
L51	S63°50'29"W	86.16
L52	S71°57'23"W	63.40
L53	S23°48'48"W	39.65
L54	S41°24'04"W	52.31
L55	S45°59'47"W	58.46
L56	S54°14'13"W	66.23
L57	S61°59'29"W	48.67
L58	S56°08'09"W	41.41
L59	S60°42'55"W	50.53
L60	S40°49'36"W	73.53
L61	S20°53'32"W	49.11
L62	S44°29'39"W	88.18
L63	S23°36'03"W	45.68
L64	S42°17'06"W	119.80
L65	S30°36'20"W	52.12
L66	S43°15'59"W	67.25
L67	S12°06'16"W	14.15
L68	N17°10'42"W	55.51
L69	N26°37'04"W	68.62
L70	N12°01'44"W	72.74
L71	N26°11'35"W	30.85
L72	N55°58'52"W	30.49
L73	N37°17'44"W	33.65
L74	N42°33'57"W	35.98
L75	S85°46'42"W	82.57
L76	S56°23'11"W	102.56
L77	S39°02'20"W	125.74
L78	S21°09'50"W	205.80
L79	S23°04'32"W	31.29
L80	S12°27'22"W	58.12
L81	S00°18'24"E	135.25
L82	S15°23'01"W	110.22
L83	S22°50'00"W	111.26
L84	S41°40'40"W	51.56
L85	S29°34'54"W	39.70
L86	S50°16'59"E	60.00
L87	N37°50'06"W	20.00
L88	S38°28'54"W	50.00
L89	N15°44'05"W	10.00
L90	N08°35'06"W	63.09
L91	S89°51'06"E	20.23
L92	S81°24'53"W	30.00
L93	S88°46'32"W	118.61
L94	N00°42'15"W	50.00
L95	N41°38'59"E	19.84
L97	N41°47'18"E	25.10
L98	N15°30'34"W	49.78
L99	N89°31'32"W	86.66
L100	N89°31'32"W	261.48
L101	N00°32'35"E	203.44

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CH BEARING	CH LENGTH
C1	303.61'	623.00'	27°55'20"	N71°31'38"W	300.61'
C33	67.71'	260.00'	14°55'18"	S52°03'59"W	67.52'
C35	122.76'	648.00'	10°51'17"	N53°44'40"W	122.58'
C36	460.20'	648.00'	40°41'26"	N89°31'32"W	450.59'

LEGEND

AS-SURVEYED PROPERTY LINE		M12	○	FOUND 3.25" ALUMINUM CAP, CDOT 16" W.C. STAMPED "PLS 33654, 352"
R.O.W.	RIGHT-OF-WAY	M13	○	FOUND 3.25" ALUMINUM CAP, CDOT 10" W.C. STAMPED "PLS 33654, 352"
●	FOUND SECTION CORNER MONUMENT AS NOTED	M14	○	FOUND 1.5 ALUMINUM CAP STAMPED "19040 AND HWY RAW 19618"
□	FOUND #5 REBAR WITH GREEN PLASTIC CAP, STAMPED "PLS 37601"	M15	○	FOUND #4 REBAR WITH YELLOW PLASTIC CAP, PLS 26296 (POTTER, 1996)
○	FOUND MONUMENT AS NOTED	M16	○	FOUND #4 REBAR WITH RED PLASTIC CAP, PLS 14632 (FOUND BY PHALIN IN 2004 & 2007)
△	FOUND #4 REBAR WITH RED PLASTIC CAP, PLS 22088 (BUCKLEY)	M17	○	FOUND #4 REBAR WITH YELLOW PLASTIC CAP, PLS 23516 (PHALIN, 2007)
M1	○ FOUND 3.25" ALUMINUM CAP, PLS 25384 STAMPED "COLO DEPT OF TRANSPORTATION ROW PROJECT 12691, POINT NO 171"	M18	○	FOUND #4 REBAR WITH RED PLASTIC CAP, PLS 23516 (PHALIN, 2004)
M2	○ FOUND #5 REBAR & YELLOW PLASTIC CAP STAMPED LS 28063	M19	○	FOUND #4 REBAR WITH RED PLASTIC CAP, PLS 20136 (0.5'W OF LINE)
M3	○ FOUND 3" R.O.W. BRASS CAP 8 IN CONCRETE,	M20	○	FOUND #5 REBAR WITH RED PLASTIC CAP, PLS 26296
M4	○ FOUND 3.25" ALUMINUM CDOT CAP PT NO 167	M21	○	FOUND #4 REBAR WITH RED PLASTIC CAP, PLS 20136 & FOUND #5 REBAR WITH NO CAP (1.1'N)
M5	○ FOUND 3.25" BRASS CAP, MARKED "STATE HIGHWAY DEPT ROW MARKER" (NO OTHER DEFINING STAMPINGS)			
M6	○ FOUND 3.25" BRASS CAP STAMPED "STATE HIGHWAY DEPT ROW MARKER WPH 81F UNIT-1 STA 308+05"	1	○	B-2 TITLE EXCEPTION NUMBER (N0026681-010-TO2-DS1 REV 10)
M7	○ FOUND 3.25" BRASS CAP, MARKED "STATE HIGHWAY DEPT ROW MARKER, WPH 81F UNIT-1 STA 317+63"	1*	○	B-2 TITLE EXCEPTION NUMBER (N0026680-010-TO2-DS1 REVISION 8)
M8	○ FOUND 3.25" ALUMINUM CAP, PLS 25384 (CDOT MONUMENT 163)			
M9	○ FOUND 3.25" ALUMINUM CAP STAMPED "STATE HIGHWAY DEPT WPH 81F UNIT-1, STA 340+67.4", CDOT PROJECT 16440 MONUMENT 256/1750)			
M10	○ FOUND 3.25" ALUMINUM CAP STAMPED "STATE HIGHWAY DEPT WPH 81F UNIT-1, STA 340+67.4", CDOT PROJECT 16440 MONUMENT 257/1751)			
M11	○ FOUND 3.25" ALUMINUM CAP, STAMPED "CDOT PROJECT NO. 16440, PLS 33654 POINT NO 251"			



Gillians
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ALTAIR SURVEY &
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P.O. BOX 375
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www.gillians.com
JN: 22207

OPERATOR:
ALBERT FREI & SONS, INC.
35715 HIGHWAY 40,
BUILDING 6, SUITE 120
EVERGREEN, CO 80439

AFS
ALBERT FREI & SONS

FINAL
APRIL 2023

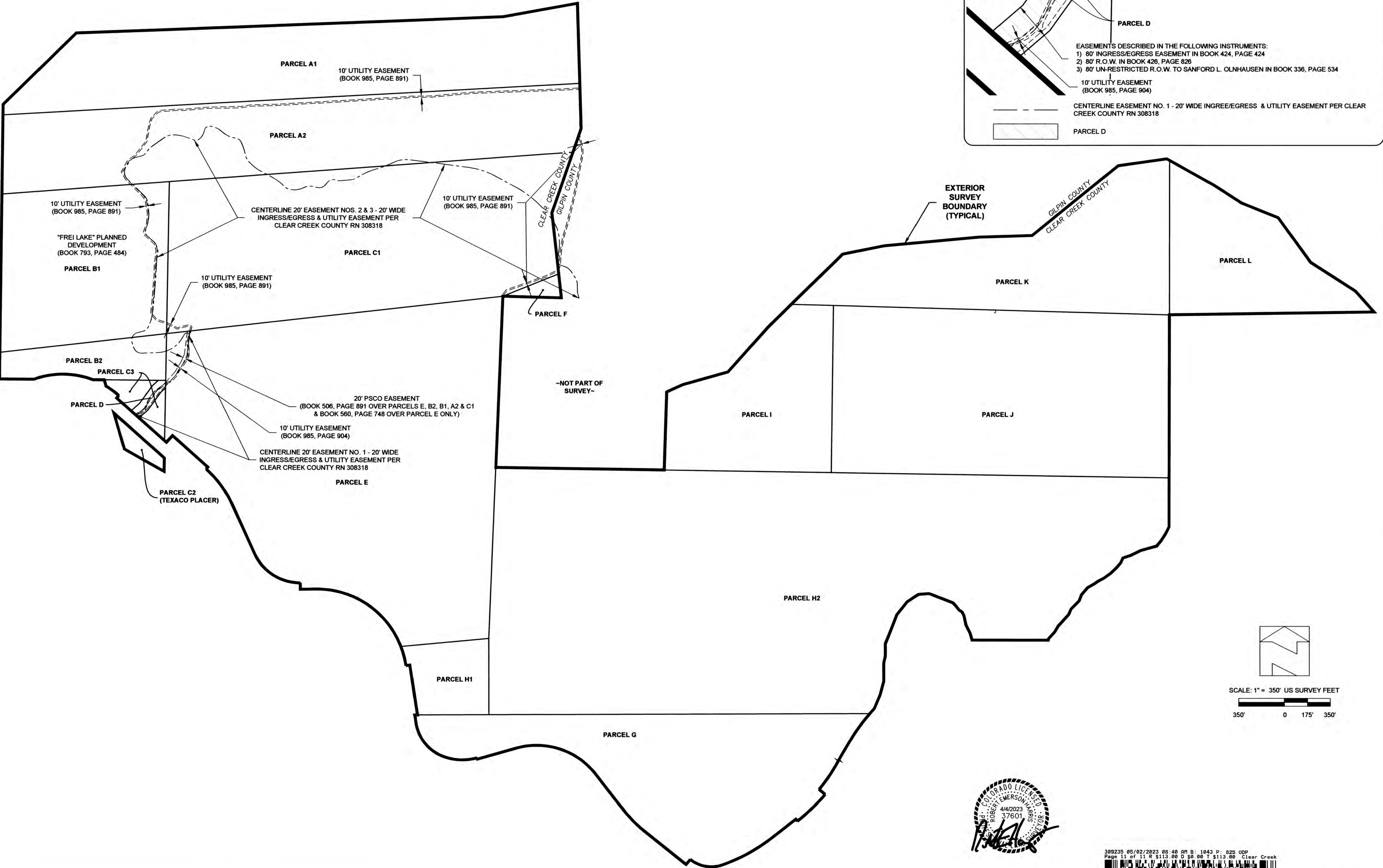
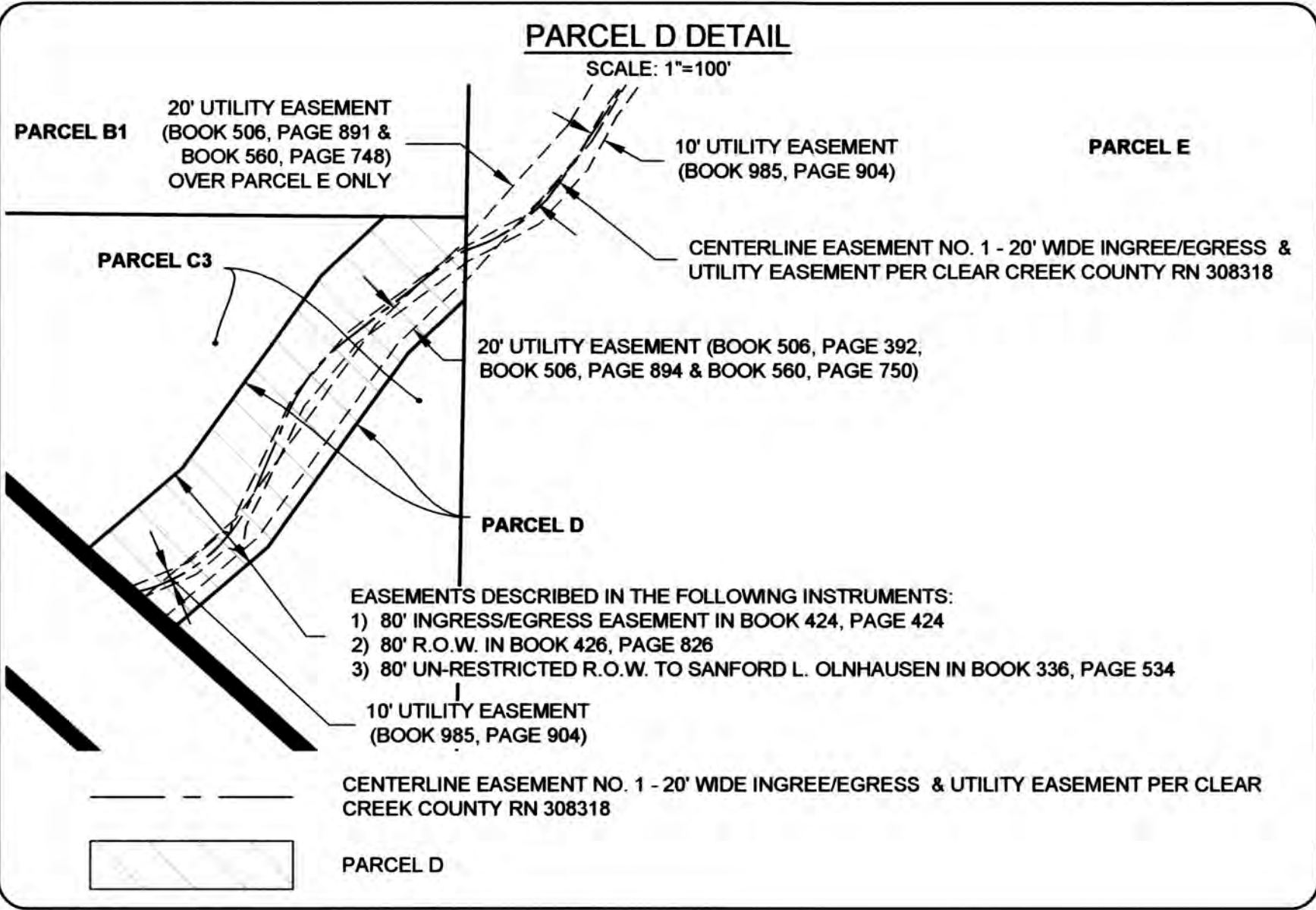
ALBERT FREI & SONS, INC.
WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023
Page 10 of 11 R 5113.88 D 59.80 E 5113.88 Clear Creek
REZONING CASE #RZ2022-0001
LEGAL DESCRIPTION

PROJ: 117-8700001
DESIN:
DRWN:
CHKD:

10

WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023
REZONING CASE #RZ2022-0001
EASEMENTS

LOCATED IN SECTION 34, SECTION 35 AND THE NW1/4 OF SECTION 36, TOWNSHIP 3 SOUTH RANGE 72 WEST OF THE 6TH P.M., &
PART OF THE N 1/2 OF SECTION 2 AND PART OF THE NE 1/4 SECTION 3, TOWNSHIP 4 SOUTH, RANGE 72 WEST OF THE 6TH P.M.,
COUNTY OF CLEAR CREEK, STATE OF COLORADO



309235 05/02/2023 08:40 AM B: 1043 P: 825 ODP
Page 11 of 11 R \$113.00 D \$0.00 T \$113.00 Clear Creek

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LAND SURVEYING
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TOWNSHIP 3 SOUTH
RANGE 72 WEST
COUNTY OF CLEAR CREEK
CONSULTING SERVICES
JN: 22207

OPERATOR:
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35715 HIGHWAY 40,
BUILDING B, SUITE 120
EVERGREEN, CO 80439

AFS
ALBERT FREI & SONS

FINAL
APRIL 2023

ALBERT FREI & SONS, INC.
WALSTRUM QUARRY OFFICIAL DEVELOPMENT PLAN 2023
REZONING CASE #RZ2022-0001
EASEMENTS

PROJ: 117-8700001
DESN:
DRWN:
CHKD: