

#### DRAWING NOTES:

- ① DRY LAND GRASS (SEEDED)
- ② GRASS
- ③ PLAYGROUND AND PICNIC AREA
- ④ AREA RESERVED FOR RECLAIMED WATER REUSE POND (EXACT SIZE TO BE DETERMINED)
- ⑤ WASTEWATER PUMPING STATION
- ⑥ DOG RUN
- ⑦ FUTURE RV PARK OFFICE AND BATHHOUSE (2,000 SF)
- ⑧ FUTURE LAUNDRY BUILDING (600 SF)
- ⑨ PROPANE TANK
- ⑩ TRASH COLLECTION AREA
- ⑪ COMMUNITY PICNIC, FIRE PITS, AND HORSESHOE PIT
- ⑫ ENGINEERED WASTEWATER TREATMENT FACILITY
- ⑬ DIRT AREA
- ⑭ BLEACHERS (TYP)
- ⑮ FUTURE COMMUNITY EVENT FACILITY (10,000 SF)
- ⑯ 3' TALL BLUE SPRUCE TREE (TYP 16)
- ⑰ 300' ASPHALT VEHICLE TRACKING CONTROL
- ⑱ FOOT PATH

- ⑲ FOOT PATH
- ⑳ EXISTING TREES TO REMAIN
- ㉑ COMMUNITY GARDEN PLOTS
- ㉒ EXTERIOR LIGHTING:
  1. BARN: EXTERIOR BUILDING LIGHT SHALL BE EVERY 25'
  2. RV PARK OFFICE: 1 EACH ON NORTH AND SOUTH EXTERIOR
- EXTERIOR BUILDING LIGHTS SHALL BE LED OUTDOOR WALL PACK LIGHTS, 80 WATTS, 10,680 LUMENS, CCT: 5000K OR EQUAL; SEE DATA SHEET INCLUDED IN APPLICATION PACKAGE
- ㉓ FOR THE ACHIEVE MORE AGRICULTURAL COMPLEX WILL BE A PERMANENT, FREESTANDING SIGN; 4' X 8' IN SIZE. LOCATED ADJACENT TO ACCESS ROAD ONTO PROPERTY, FACING CR 2. SEE DETAIL THIS SHEET.
- ㉔ FOR THE LIBERTY HILL RV PARK WILL BE A PERMANENT, FREESTANDING SIGN; 4' X 8' IN SIZE. LOCATED ADJACENT TO ACCESS ROAD ONTO PROPERTY, FACING CR 2. SEE DETAIL THIS SHEET.
- ㉕ FOR THE ACHIEVE MORE LIVESTOCK BARN (NAMING RIGHTS) SIGN WILL BE A PERMANENT, BUILDING MOUNTED OR PAINTED ON BUILDING WALL; 6' X 30' IN SIZE AND 10 FEET TALL. LOCATED SOUTH SIDE OF LIVESTOCK BARN (BUILDING EXTERIOR), FACING CR 2.
- ㉖ FOR THE RODEO ARENA (NAMING RIGHTS) SIGN WILL BE A FREESTANDING OR MOUNTED ON A FENCE; 4' X 8' IN SIZE. GENERALLY LOCATED IN THE OUTDOOR RODEO ARENA AREA. ALL OTHER SIGNS SHALL ADHERE TO CHAPTER 23, ARTICLE IV, DIVISION 2 AND APPENDICES 23-C, 23-D AND 23-E OF THE WELD COUNTY CODE.
- ㉗ EASEMENT, RIGHT-OF-WAY AND SURFACE DAMAGES AGREEMENT, RECORDED OCTOBER 05, 2015, REC. NO. 4147718 UPDATED BY FIRST AMENDMENT, RECORDED JANUARY 11, 2017, REC. NO. 4268793.

#### GENERAL NOTES:

1. PROPOSED USES AND IMPROVEMENT LOCATIONS AND DIMENSIONS ARE APPROXIMATE EXCEPT AS SUBJECT TO USR APPROVAL CONDITIONS OR SPECIFIC SETBACK REQUIREMENTS.

### USE BY SPECIAL REVIEW - USR17-0055 AGRICULTURAL AND HERITAGE COMPLEX FOR ACHIEVE MORE

#### PROPERTY OWNER'S CERTIFICATION

The undersigned major property owner(s) do hereby agree to the Site Specific Development Plan and Use by Special Review Development Standards as described hereon this 19<sup>th</sup> day of June, 20 19.

Signature: Robert Frachetti Signature: Dan LaCoe

#### PLANNING COMMISSION CERTIFICATION

This is to certify that the Weld County Planning Commission has certified and does hereby recommend to the Board of County Commissioners, Weld County Colorado, for its confirmation, approval and adoption this Site Specific Development Plan and Use by Special Review as shown and described thereon this 2nd day of July, 20 19.

John W. Wink  
Chair, Weld County Planning Commission

#### BOARD OF COUNTY COMMISSIONERS CERTIFICATION

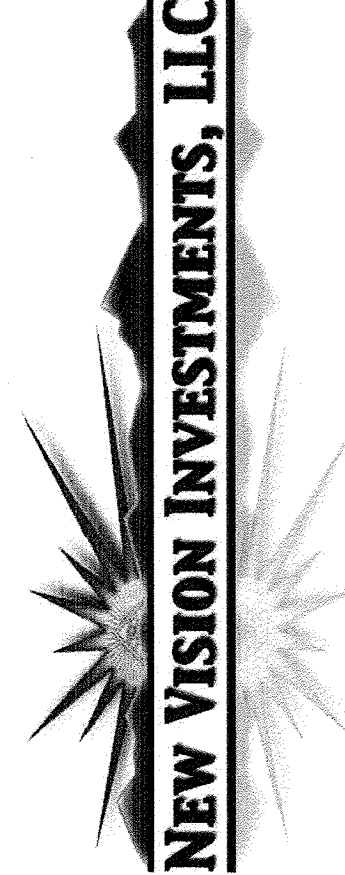
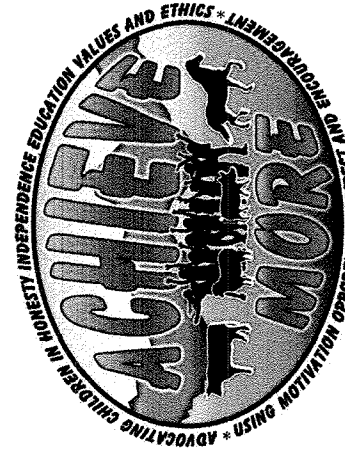
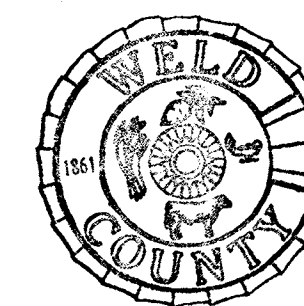
This is to certify that the Board of County Commissioners, Weld County, Colorado, does hereby confirm and adopt this Site Specific Development Plan and Use by Special Review and Development Standards as shown and described hereon this 24<sup>th</sup> day of June, 20 19.

Barbara Kirkman  
Chair, Board of County Commissioners

ATTEST: Guthrie G. Meink  
Weld County Clerk to the Board

BY: Colleen A. Rempel  
Deputy Clerk to the Board

Dated: 06/04/2019



ACHIEVE MORE AGRICULTURAL COMPLEX PLOT PLAN



DEVELOPMENT STANDARDS

SITE SPECIFIC DEVELOPMENT PLAN USE BY SPECIAL REVIEW PERMIT DEVELOPMENT STANDARDS  
CHERRY KNOLLS ESTATES, GENERAL PARTNERSHIP, LLP, C/O BOB FRACCHETTI AND DAN LACOE  
USR17-0055

- The Site Specific Development Plan and Use by Special Review Permit, USR17-0055, is for Agricultural Service Establishments primarily engaged in performing, agricultural, animal husbandry or horticultural services on a fee or contract basis, including animal boarding and animal training facilities, livestock sale barns and facilities, rodeo arena, roping arena to include both indoor and outdoor arenas and any Use permitted as a Use By Right, Accessory Use, or Use By Special Review in the Commercial or Industrial Zone Districts (an events center and a 150-space RV park with an office) provided that the property is not a lot in an approved or recorded subdivision plat or part of a map or plan filed prior to adoption of any regulations controlling subdivisions in the A (Agricultural) Zone District, subject to the Development Standards stated hereon.
- Approval of this plan may create a vested property right pursuant to Section 23-8-10 of the Weld County Code.
- The hours of operation are:
  - The Achieve More Agricultural Complex 6:00 a.m. to 7:00 p.m., 7 days a week.
  - The RV park 24 hours a day/ 7 days a week, with quiet time between 10:00 p.m. and 8:00 a.m.
- RVs shall not be stored on the site.
- Recreational camping will be allowed for up to thirty (30) days over a 60-day period. No permanent residency shall be allowed in the RV Park.
- Decks and other permanent structures associated with individual RVs are prohibited in the RV camping area.
- The number of full-time employees shall be two (2) with thirty (30) volunteers during large events.
- The number of animal units shall adhere to the number allowed per the Weld County Code. This parcel is 178 acres allowing up to 1,068 animal units.
- The parking area on the site shall be maintained.
- The four signs shall adhere to the below criteria as approved by the Board of County Commissioners on February 28, 2018:
  - Sign 1 for the Achieve More Agricultural Complex will be a permanent, freestanding sign; 4' x 8' in size and 6 feet tall. Located adjacent to access road onto property, facing CR 2.
  - Sign 2 for the Liberty Hill RV Park will be a permanent, freestanding sign; 4' x 8' in size and 6 feet tall. Located adjacent to access road onto property, facing CR 2.
  - Sign 3 for the Achieve More Livestock Barn (naming rights) will be a permanent, building mounted or painted on building wall; 6' x 30' in size and 10 feet tall. Located south side of Livestock Barn (building exterior), facing CR 2.
  - Sign 4 for the Rodeo Arena (naming rights) will be a freestanding or mounted on a fence; 4' x 8' in size and 6 feet tall. Located in the outdoor rodeo arena area, located well within property (north of livestock barn) thus not visible from CR 2. All other signs shall adhere to Chapter 23, Article IV, Division 2 and Appendices 23-C, 23-D and 23-E of the Weld County Code.
- The applicant shall develop an Emergency Action and Safety Plan with the Office of Emergency Management and Fire District for events greater than 250 people.
- The property owner or operator shall be responsible for controlling noxious weeds on the site, pursuant to Chapter 15, Articles I and II, of the Weld County Code.
- The access on the site shall be maintained to mitigate any impacts to the public road, including damages and/or off-site tracking.
- There shall be no parking or staging of vehicles on public roads. On-site parking shall be utilized.
- Any work that may occupy and or encroach upon any County rights-of-way or easement shall acquire an approved Right-of-Way Use Permit prior to commencement.
- The historical flow patterns and runoff amounts on the site will be maintained.
- Weld County is not responsible for the maintenance of on-site drainage related features.
- All liquid and solid wastes (as defined in the Solid Wastes Disposal Sites and Facilities Act, Section 30-20-100.5, C.R.S.) shall be stored and removed for final disposal in a manner that protects against surface and groundwater contamination.
- No permanent disposal of wastes shall be permitted at this site. This is not meant to include those wastes specifically excluded from the definition of a solid waste in the Solid Wastes Disposal Sites and Facilities Act, Section 30-20-100.5, C.R.S.
- Waste materials shall be handled, stored, and disposed of in a manner that controls fugitive dust, fugitive particulate emissions, blowing debris, and other potential nuisance conditions. The applicant shall operate in accordance with Chapter 14, Article I, of the Weld County Code.
- Animal and feed wastes, bedding, debris and other organic wastes shall be disposed of so that vermin infestation, odors, disease hazards, and nuisances are minimized.
- Fugitive dust shall attempt to be confined on the property. Uses on the property should comply with the Colorado Air Quality Commission's Air Quality Regulations.
- The facility shall adhere to the maximum permissible noise levels allowed in the Commercial Zone District, as delineated in Section 25-12-103, C.R.S.
- Adequate drinking, handwashing and toilet facilities shall be provided for employees and patrons of the facility, at all times.
- Sewage disposal for the facility shall be by septic system. Any septic system located on the property must comply with all provisions of the Weld County Code, pertaining to On-site Wastewater Treatment Systems.
- In the event the septic systems require a design capacity of over 2,000 gallons of sewage per day, the applicants shall adhere to the requirements of the Colorado Department of Public Health and Environment, Water Quality Control Division's (WQCD) Regulations.
- Any large-capacity septic system (a septic system with the capacity to serve 20 or more persons per day) shall comply with the Underground Injection Control (UIC) Class V Injection Well requirements of the Environmental Protection Agency (EPA).
- Temporary uses for a period of six months or less, portable toilets and bottled water are acceptable. Records of maintenance and proper disposal for portable toilets shall be retained on a quarterly basis and available for review by the Weld County Department of Public Health and Environment. Portable toilets shall be serviced by a cleaner licensed in Weld County and shall contain hand sanitizers.
- A permanent adequate water supply shall be provided for drinking and sanitary purposes. In the event the facility's water system serves more than 25 persons on a daily basis, the water system shall comply with the Colorado Primary Drinking Water Regulations (5 CCR 1003-1). If not subject to these requirements, the Weld County Department of Public Health and Environment strongly encourages well users to test their drinking water prior to consumption and periodically thereafter.
- The applicant shall comply with Colorado Retail Food Establishment Rules and Regulations governing the regulation of food service establishments.
- The operation shall comply with all applicable rules and regulations of the state and federal agencies and the Weld County Code.
- Sources of light shall be shielded so that light rays will not shine directly onto adjacent properties where such would cause a nuisance or interfere with the use on the adjacent properties in accordance with the plan. Neither the direct, nor reflected, light from any light source may create a traffic hazard to operators of motor vehicles on public or private streets. No colored lights may be used which may be confused with, or construed as, traffic control devices.
- A building permit may be required, per Section 29-3-10 of the Weld County Code. Currently, the following have been adopted by Weld County: 2012 International Codes, 2006 International Energy Code, and the 2014 National Electrical Code. A building permit application must be completed and two complete sets of engineered plans bearing the wet stamp of a Colorado registered architect or engineer must be submitted for review. A geotechnical engineering report performed by a registered State of Colorado engineer shall be required or an open hole inspection.
- Necessary personnel from the Weld County Departments of Planning Services, Public Works, and Public Health and Environment shall be granted access onto the property at any reasonable time in order to ensure the activities carried out on the property comply with the Conditions of Approval and Development Standards stated herein and all applicable Weld County regulations.
- The Use by Special Review area shall be limited to the plans shown hereon and governed by the foregoing standards and all applicable Weld County regulations. Substantial changes from the plans or Development Standards, as shown or stated, shall require the approval of an amendment of the Permit by the Weld County Board of County Commissioners before such changes from the plans or Development Standards are permitted. Any other changes shall be filed in the office of the Department of Planning Services.
- The property owner or operator shall be responsible for complying with all of the foregoing Development Standards. Noncompliance with any of the foregoing Development Standards may be reason for revocation of the Permit by the Board of County Commissioners.
- RIGHT TO EXTRACT MINERAL RESOURCES STATEMENT: Weld County has some of the most abundant mineral resources, including, but not limited to, sand and gravel, oil, natural gas, and coal. Under Title 34 of the Colorado Revised Statutes, minerals are vital resources because (a) the state's commercial mineral deposits are essential to the state's economy; (b) the populous counties of the state face a critical shortage of such deposits; and (c) such deposits should be extracted according to a rational plan, calculated to avoid waste of such deposits and cause the least practicable disruption of the ecology and quality of life of the citizens of the populous counties of the state. Mineral resource locations are widespread throughout the County and persons moving into these areas must recognize the various impacts associated with this development. Oftentimes, mineral resource sites are fixed to their geographical and geophysical locations. Moreover, these resources are protected property rights and mineral owners should be afforded the opportunity to extract the mineral resource.

WELD COUNTY RIGHT TO FARM STATEMENT

WELD COUNTY IS ONE OF THE MOST PRODUCTIVE AGRICULTURAL COUNTIES IN THE UNITED STATES, TYPICALLY RANKING IN THE TOP TEN COUNTIES IN THE COUNTRY IN TOTAL MARKET VALUE OF AGRICULTURAL PRODUCTS SOLD. THE RURAL AREAS OF WELD COUNTY MAY BE OPEN AND SPACIOUS, BUT THEY ARE INTENSIVELY USED FOR AGRICULTURE. PERSONS MOVING INTO A RURAL AREA MUST RECOGNIZE AND ACCEPT THERE ARE DRAWBACKS, INCLUDING CONFLICTS WITH LONG-STANDING AGRICULTURAL PRACTICES AND A LOWER LEVEL OF SERVICES THAN IN TOWN. ALONG WITH THE DRAWBACKS COME THE INCENTIVES WHICH ATTRACT URBAN DWELLERS TO RELOCATE TO RURAL AREAS: OPEN VIEWS, SPACIOUSNESS, WILDLIFE, LACK OF CITY NOISE AND CONGESTION, AND THE RURAL ATMOSPHERE AND WAY OF LIFE. WITHOUT NEIGHBORING FARMS, THOSE FEATURES WHICH ATTRACT URBAN DWELLERS TO RURAL WELD COUNTY WOULD QUICKLY BE GONE FOREVER. AGRICULTURAL USERS OF THE LAND SHOULD NOT BE EXPECTED TO CHANGE THEIR LONG-ESTABLISHED AGRICULTURAL PRACTICES TO ACCOMMODATE THE INTRUSIONS OF URBAN USERS INTO A RURAL AREA. WELL-RUN AGRICULTURAL ACTIVITIES WILL GENERATE OFF-SITE IMPACTS, INCLUDING NOISE FROM TRACTORS AND EQUIPMENT; SLOW-MOVING FARM VEHICLES ON RURAL ROADS; DUST FROM ANIMAL PENS, FIELD WORK, HARVEST AND GRAVEL ROADS; ODOR FROM ANIMAL CONFINEMENT, SILAGE AND MANURE; SMOKE FROM DITCH BURNING; FLIES AND MOSQUITOES; HUNTING AND TRAPPING ACTIVITIES; SHOOTING SPORTS, LEGAL HAZING OF NUISANCE WILDLIFE; AND THE USE OF PESTICIDES AND FERTILIZERS IN THE FIELDS, INCLUDING THE USE OF AERIAL SPRAYING. IT IS COMMON PRACTICE FOR AGRICULTURAL PRODUCERS TO UTILIZE AN ACCUMULATION OF AGRICULTURAL MACHINERY AND SUPPLIES TO ASSIST IN THEIR AGRICULTURAL OPERATIONS. A CONCENTRATION OF MISCELLANEOUS AGRICULTURAL MATERIALS OFTEN PRODUCES A VISUAL DISPARITY BETWEEN RURAL AND URBAN AREAS OF THE COUNTY. SECTION 35-3.5-102, C.R.S., PROVIDES THAT AN AGRICULTURAL OPERATION SHALL NOT BE FOUND TO BE A PUBLIC OR PRIVATE NUISANCE IF THE AGRICULTURAL OPERATION ALLEGED TO BE A NUISANCE EMPLOYS METHODS OR PRACTICES THAT ARE COMMONLY OR REASONABLY ASSOCIATED WITH AGRICULTURAL PRODUCTION. WATER HAS BEEN, AND CONTINUES TO BE, THE LIFE LINE FOR THE AGRICULTURAL COMMUNITY. IT IS UNREALISTIC TO ASSUME THAT DITCHES AND RESERVOIRS MAY SIMPLY BE MOVED "OUT OF THE WAY" OF RESIDENTIAL DEVELOPMENT. WHEN MOVING TO THE COUNTY, PROPERTY OWNERS AND RESIDENTS MUST REALIZE THEY CANNOT TAKE WATER FROM IRRIGATION DITCHES, LAKES OR OTHER STRUCTURES, UNLESS THEY HAVE AN ADJUDICATED RIGHT TO THE WATER.

WELD COUNTY COVERS A LAND AREA OF APPROXIMATELY FOUR THOUSAND (4,000) SQUARE MILES IN SIZE (TWICE THE SIZE OF THE STATE OF DELAWARE) WITH MORE THAN THREE THOUSAND SEVEN HUNDRED (3,700) MILES OF STATE AND COUNTY ROADS OUTSIDE OF MUNICIPALITIES. THE SHEER MAGNITUDE OF THE AREA TO BE SERVED STRETCHES AVAILABLE RESOURCES. LAW ENFORCEMENT IS BASED ON RESPONSES TO COMPLAINTS MORE THAN ON PATROLS OF THE COUNTY, AND THE DISTANCES WHICH MUST BE TRAVELED MAY DELAY ALL EMERGENCY RESPONSES, INCLUDING LAW ENFORCEMENT, AMBULANCE AND FIRE. FIRE PROTECTION IS USUALLY PROVIDED BY VOLUNTEERS WHO MUST LEAVE THEIR JOBS AND FAMILIES TO RESPOND TO EMERGENCIES. COUNTY GRAVEL ROADS, NO MATTER HOW OFTEN THEY ARE BLADED, WILL NOT PROVIDE THE SAME KIND OF SURFACE EXPECTED FROM A PAVED ROAD. SNOW REMOVAL PRIORITIES MEAN THAT ROADS FROM SUBDIVISIONS TO ARTERIALS MAY NOT BE CLEARED FOR SEVERAL DAYS AFTER A MAJOR SNOWSTORM. SERVICES IN RURAL AREAS, IN MANY CASES, WILL NOT BE EQUIVALENT TO MUNICIPAL SERVICES. RURAL DWELLERS MUST, BY NECESSITY, BE MORE SELF-SUFFICIENT THAN URBAN DWELLERS.

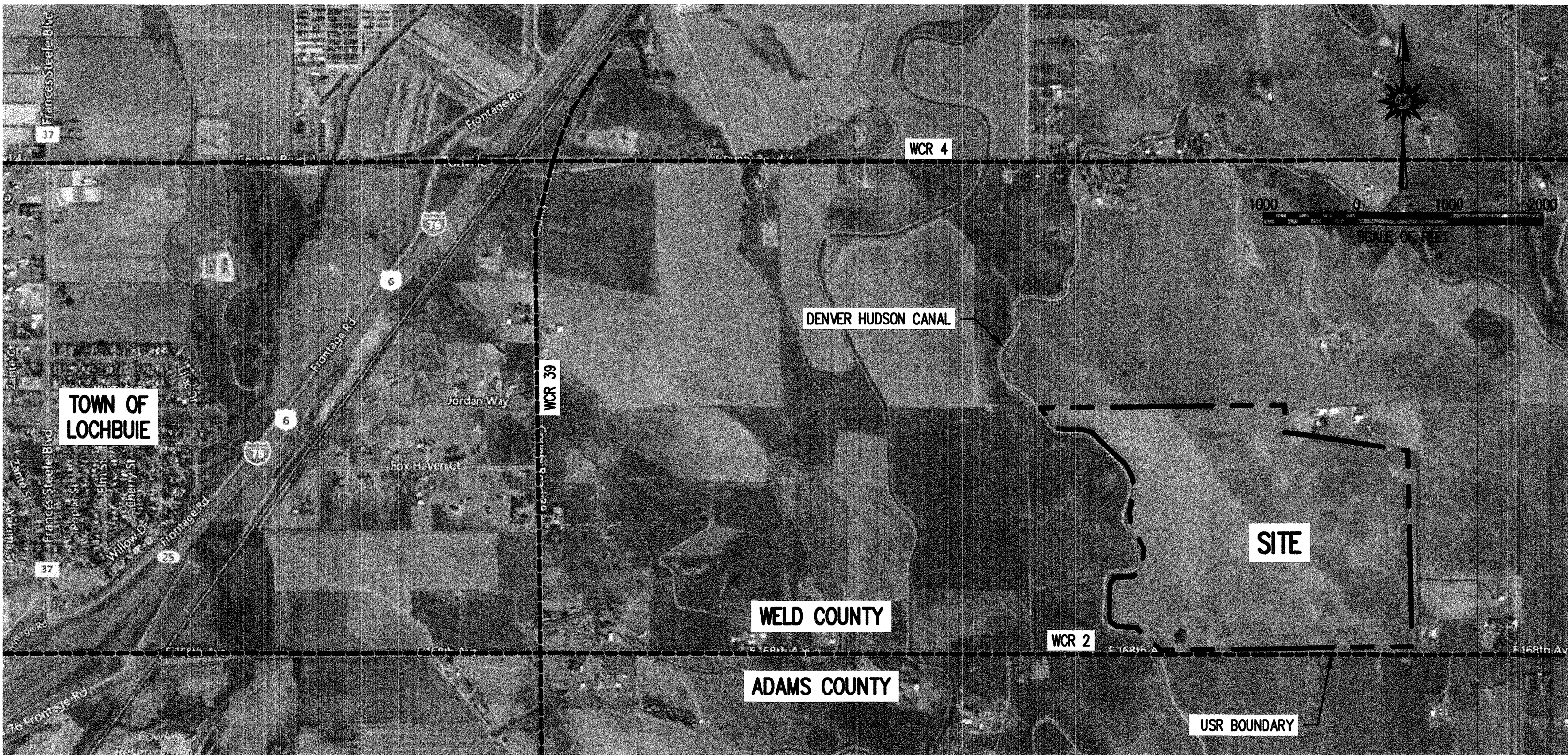
PEOPLE ARE EXPOSED TO DIFFERENT HAZARDS IN THE COUNTY THAN IN AN URBAN OR SUBURBAN SETTING. FARM EQUIPMENT AND OIL FIELD EQUIPMENT, PONDS AND IRRIGATION DITCHES, ELECTRICAL POWER FOR PUMPS AND CENTER PIVOT OPERATIONS, HIGH-SPEED TRAFFIC, SAND BURS, PUNCTURE VINES, TERRITORIAL FARM DOGS AND LIVESTOCK AND OPEN BURNING PRESENT REAL THREATS. CONTROLLING CHILDREN'S ACTIVITIES IS IMPORTANT, NOT ONLY FOR THEIR SAFETY, BUT ALSO FOR THE PROTECTION OF THE FARMER'S LIVELIHOOD. (WELD COUNTY CODE ORDINANCE 2002-6; WELD COUNTY CODE ORDINANCE 2008-13)

USE BY SPECIAL REVIEW – USR17–0055  
AGRICULTURAL AND HERITAGE COMPLEX  
FOR ACHIEVE MORE

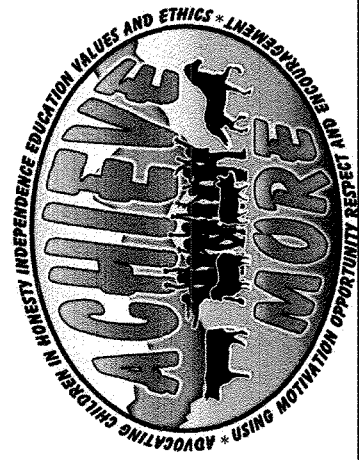
LEGAL DESCRIPTION: LOT D, RECORDED EXEMPTION NO. 1473-33-4 RE-4994, RECORDED MAY 20, 2010 AT RECEPTION NO. 3694483, BEING LOCATED IN THE SOUTH 1/2 OF SECTION 33, TOWNSHIP 1 NORTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF WELD, STATE OF COLORADO.



Achieve More Agricultural Complex, Weld County – Soil Map Information			Land Capability Classification	
Map Unit Symbol	Map Unit Name	Acres in AOI	If irrigated	If not irrigated
5	Ascalon sandy loam, 0-3 %slopes	50.4	3e	4c
6	Ascalon sandy loam, 3-5 % slopes	6.7	3e	4c
40	Nunn loam, 1-3 % slopes	69.5	3e	4e
48	Olney fine sandy loam, 3-5 % slopes	3.3	3e	4c
69	Valent sand, 0-3 % slopes	0.5	4e	6e
73	Vona loamy sand, 3-5 % slopes	42.6	3e	4e
76	Vona loamy sand, 1-3 % slopes	3.5	3e	4e



VICINITY MAP



ACHIEVE MORE AGRICULTURAL AND HERITAGE COMPLEX VICINITY MAP